

City of Rohnert Park

Development Area Plan - Southeast Area

Resolution No. 2023-065
August 2023

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ORANGE COUNTY . LOS ANGELES . BAY AREA

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Summary

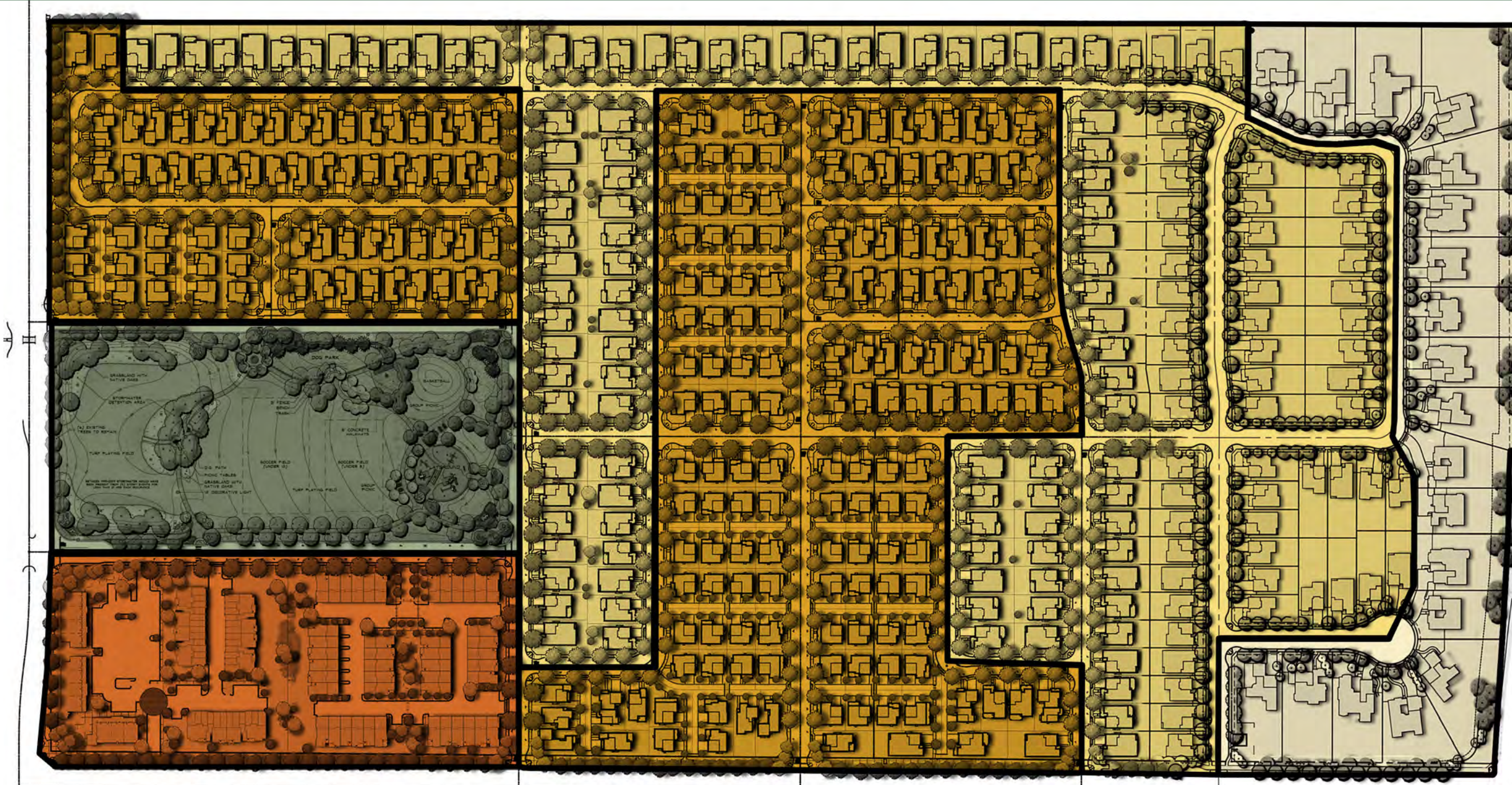
Land Use	Specific Plan Development Standards					Proposed				
	Approx. Gross Ac. ¹	Units	Maximum Density (Du/Ac)	Non-Residential Bldg Area (1,000 s.f.)	Parking Required	Approx. Gross Ac. ¹	Units	Density (Du/Ac)	Non-Residential Bldg Area (1000 s.f.)	Parking Provided
Rural Estate Residential	9.1	19	2.2	n.a.	2 per unit	9.13	19	2.1	n.a.	2 garage space per unit
Low Density Residential	27.7	160	6.0	n.a.	2 per unit	27.69	Conventional: 128 Executive Estate: 32 Total: 160	5.8	n.a.	2 garage space per unit
SE Medium Density Residential	27.8	239	12.0	n.a.	2 per unit	27.77	Conventional: 112 Motorcourt: 99 Duet: 28 Total: 239	8.6	n.a.	2 garage space per unit 2 garage space per unit 1 covered, 1 uncovered space per unit
Mixed Use Development	7.0	81	24.0	10 ²	<p>Per Rohnert Park Zoning Code - <u>Single-Family Attached (Townhomes)</u>: 2 spaces per unit, one of which must be covered, plus 1 space per 4 units for guest parking (102 Required)</p> <p><u>Multi Family (Apartments)</u></p> <ul style="list-style-type: none"> • 1 space per studio or 1 bedroom unit; • 2 spaces per 2 bedroom unit; • 2.5 spaces per 3 bedroom unit; and • 1 guest parking space for every 4 units (Total of 64 Required) <p><u>General Retail</u>: 1 space per 300 square feet of gross floor area (34 Required)</p> <p><u>Retail Loading</u>: 7,501 to 40,000 sq.ft, 1 berth required</p> <p>Per California Government Code Sections 65915 – 65918)- <u>Density Bonus Project Parking</u></p> <ul style="list-style-type: none"> • 1 space per studio or 1 bedroom unit; • 2 spaces per 2 or 3 bedroom unit; (54 Required) 	<p>Townhomes = 3.06 Apartments = 1.75 Retail = 1.52 Net Total = 6.33 (6.96 gross)</p> <p><u>Townhomes</u></p> <p>3 Bedroom: 29 4 Bedroom: 16 Subtotal: 45</p> <p><u>Apartments</u></p> <p>1 Bedroom: 18 2 Bedroom: 11 3 Bedroom: 7 Subtotal: 36</p> <p>Total: 81</p>	<p>Townhomes = 14.7 Apartments = 20.2</p> <p>10,340</p>	<p><u>Townhomes</u></p> <p>Garage: 90 Guest: 15 Accessible: 1 Subtotal: 106</p> <p><u>Apartments</u></p> <p>Carport: 36 Guest: 25 Accessible: 3 Subtotal: 64</p> <p><u>Retail</u></p> <p>Standard: 59 Accessible: 3 Subtotal: 62</p> <p><u>Retail Loading</u></p> <p>15'x30': 1</p>		
Parks	7.9 ³	n.a.	n.a.	n.a.	n.a.	7.98 ³	n.a.	n.a.	n.a.	n.a.
Total	79.5	499	n.a.	n.a.	n.a.	79.53	499	n.a.	n.a.	n.a.

(1) Gross Acreage includes all rights-of-way located within the project boundary, measured to the center line of the street

(2) 10,000 s.f. retail

(3) Includes a 5.0 net acre park and a 2.1 net acre basin (7.1 net acres total)

Land Use




LEGEND

Land Use	Approx. Gross Ac.	Total Units	Density
Rural Estate Residential	9.13	19	2.1
Low Density Residential	27.69	160	5.8
SE Medium Density Residential	27.77	239	8.6
Mixed Use Development	6.96	81	n.a.
Parks	7.98 (5.0 Net)	0	n.a.
Total	79.53	499	6.3

Affordable Housing Plan



 **14 DUET (28 UNITS)**

- If For Rent: 50% very low-income + 50% low-income
- If For Sale: 50% low-income + 50% moderate income

 **12 TOWNHOMES**

- If For Rent: 50% very low-income + 50% low-income
- If For Sale: 50% low-income + 50% moderate income (4 minimum)



36 APARTMENTS

- 36 Units, 50% very low-income + 50% low-income

TOTAL

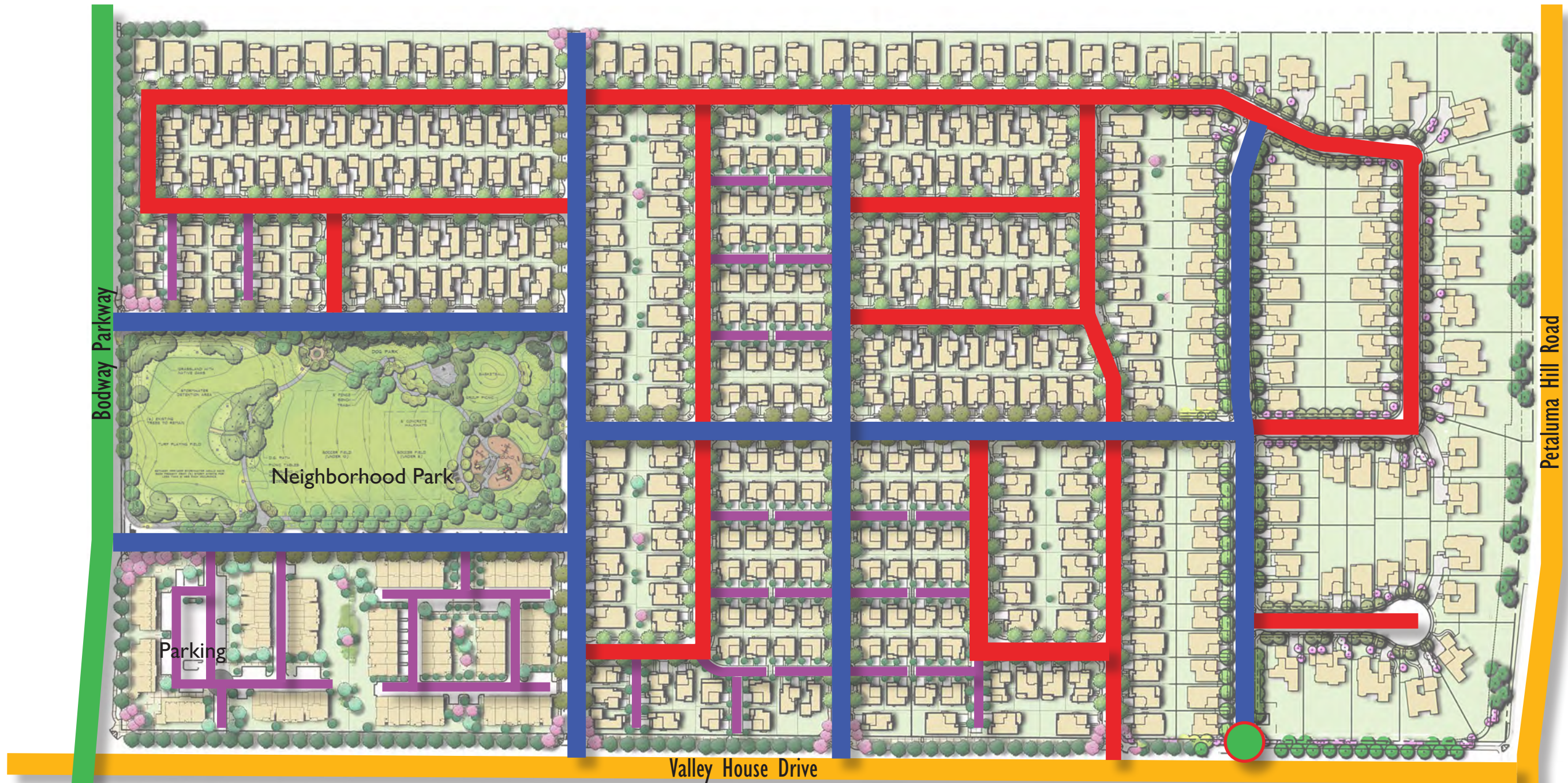
14 Duet (28 Units)
12 Townhome
36 Apartments
= 76 Affordable Homes

In the event that the required ~~75~~ units are constructed on site, these units will be distributed throughout the SESP. The 75 units include a 36 -unit apartment complex, 14 duets (28 units), and 11 townhomes.

The City's affordable requirement states that fifty percent (50%) of the rental units shall be rented to very-low income households and fifty percent (50%) shall be rented to low income households. Since an affordable housing provider typically manages low income rental units, the 75 low income restricted units need to be located near one another to ensure efficient management of the property; therefore, these units have been located within the mixed use parcel. The timing of their construction will be determined by the development agreement and the agreement with the affordable housing provider.

The remaining units have been distributed throughout the SE Medium Density and mixed use land use designation. These units will be duets that look similar to the adjacent market rate units. The construction phasing of these units will occur at the same time as the adjacent market rate units. If operated as rental housing, fifty percent (50%) of the duets and townhomes will be rented to very-low income households. The remaining fifty percent (50%) will be rented to low-income households. If sold as owner-occupied housing, fifty percent (50%) of the duets and townhomes will be sold to low income households. The remaining fifty percent (50%) will be sold to moderate income households.

Streets



LEGEND

- Minor Collector (4 lanes)
- Minor Arterial (2 lanes)
- Minor Local (2 lanes)
- Neighborhood Street (2 lanes)
- Private Drive (2 lanes)
- Emergency Vehicle Access (not an intersection)

Pedestrian Ways and Bike Ways



* Connection to Canon Manor

* Bodway Parkway




* Valley House Drive

Petaluma Hill Road

Valley House Drive

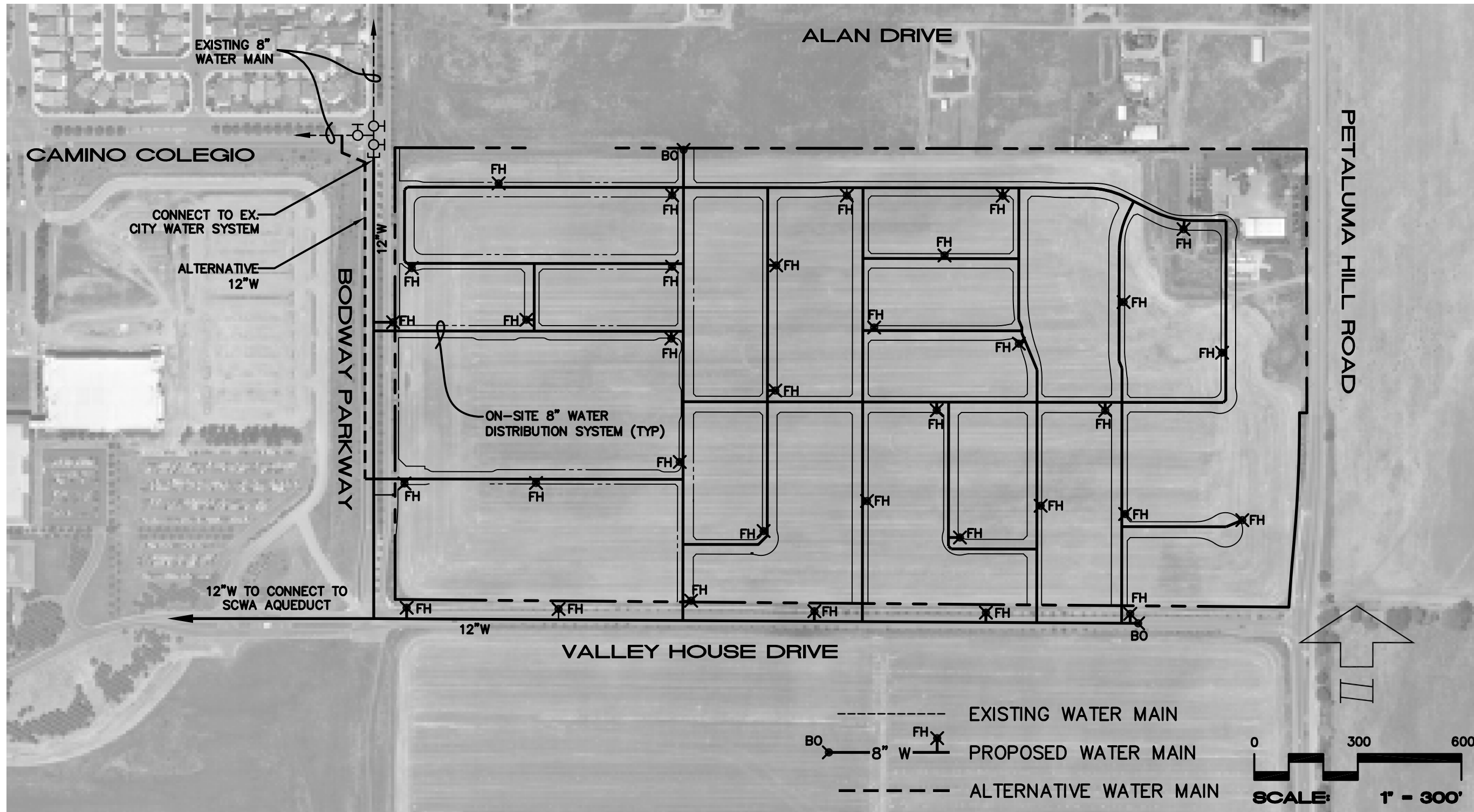


-  Multi-Use Trail (Class I bike lane)
-  Sidewalk (Both Sides of Street)
-  Sidewalk (One Side of Street)
-  Park Trails

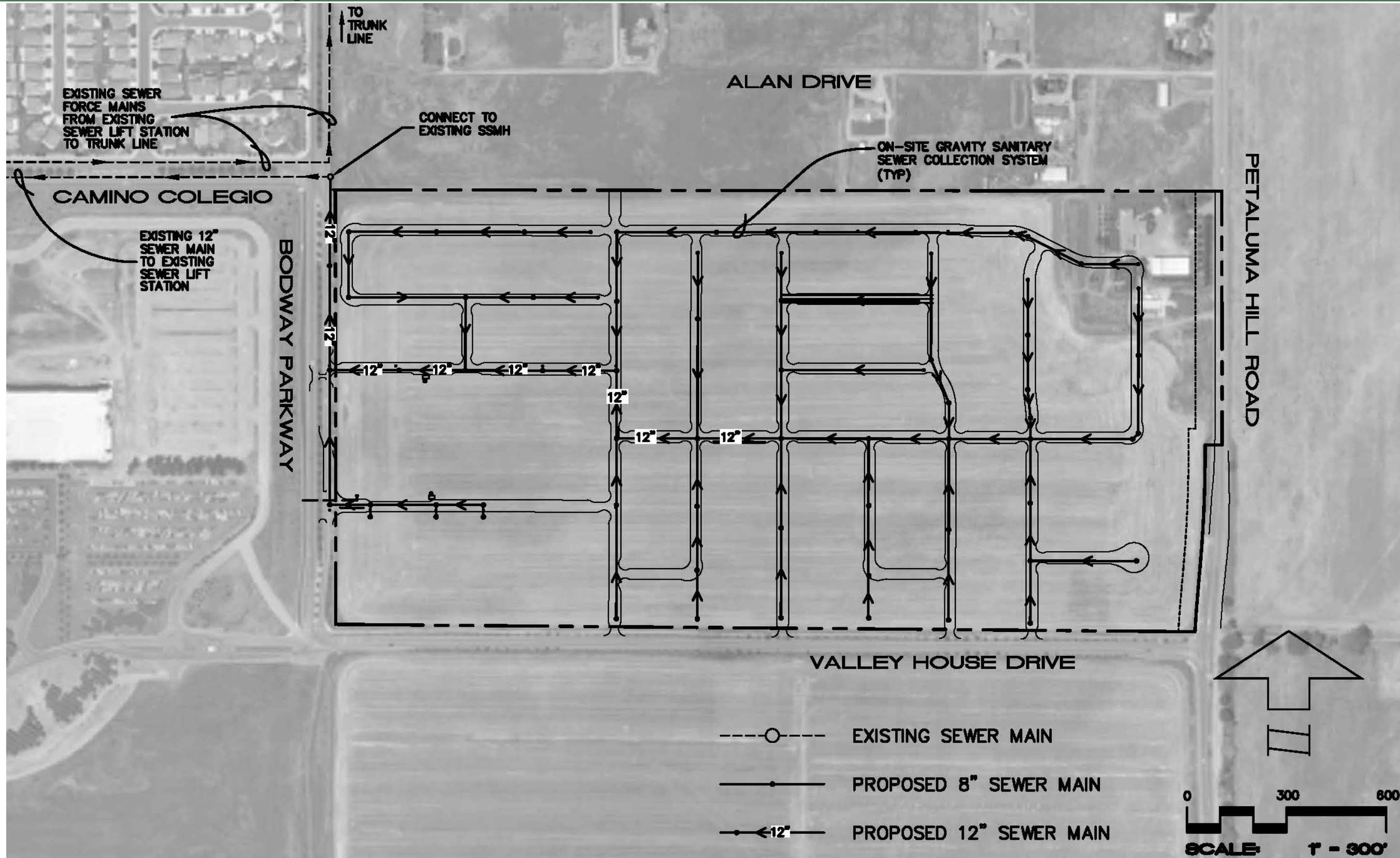
-  Internal Trails
-  Class II Bike Lane
-  Enhanced Pedestrian Crossing



Preliminary Infrastructure - Water



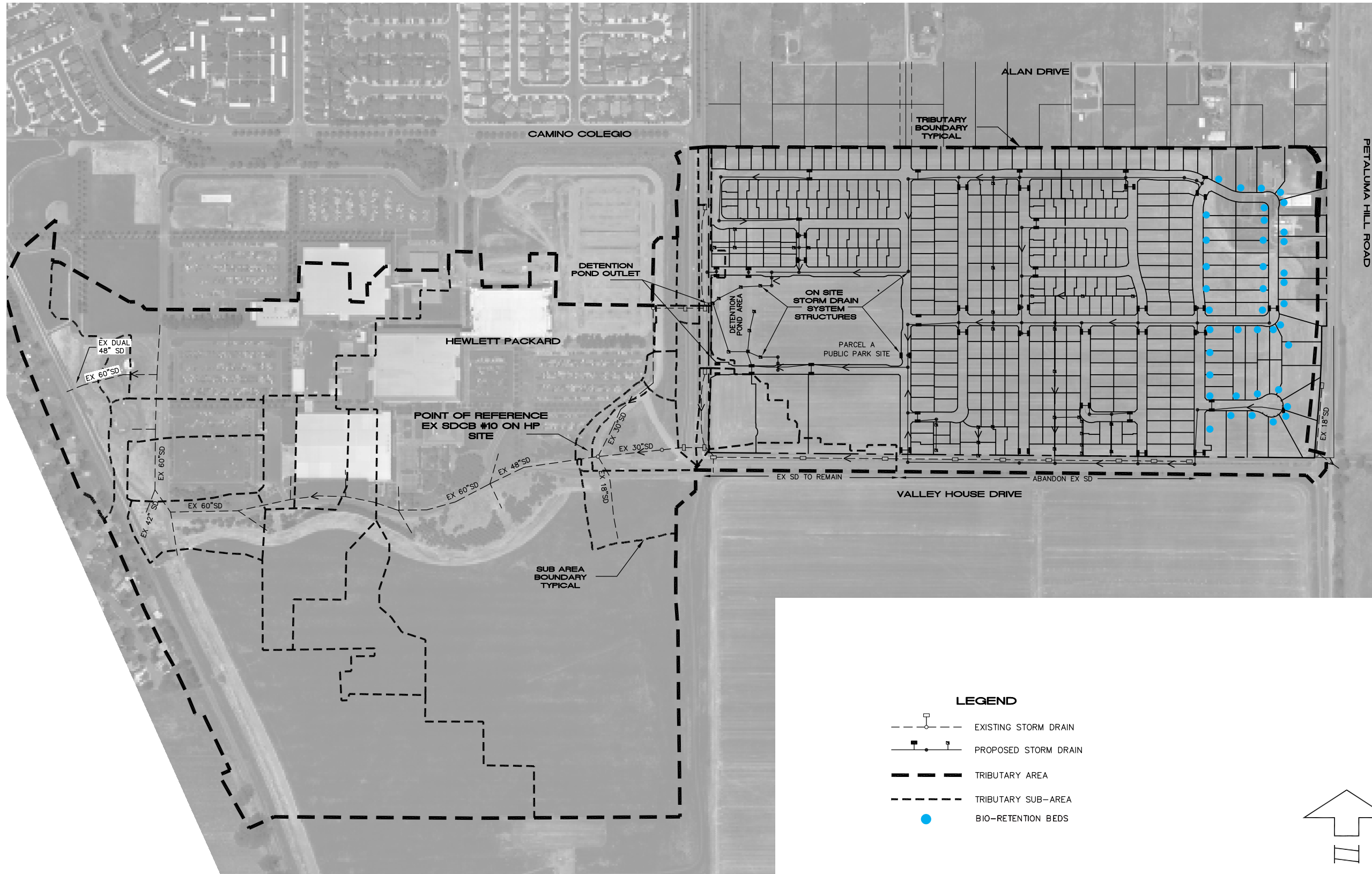
Preliminary Infrastructure - Sewer

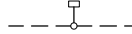






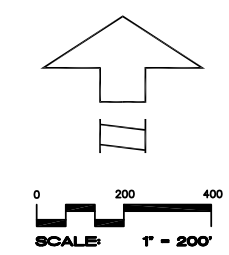
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 2200 Range Avenue, Suite 204
 Santa Rosa, CA 95403
 (707) 542-4820



Preliminary Infrastructure - Storm Drain



- LEGEND**
-  EXISTING STORM DRAIN
 -  PROPOSED STORM DRAIN
 -  TRIBUTARY AREA
 -  TRIBUTARY SUB-AREA
 -  BIO-RETENTION BEDS



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Rural Estate

Preliminary Elevations

Minimum Lot Size:	17,000 SF
Minimum Lot Width:	90'
Minimum Lot Depth:	100'
Maximum Lot Coverage:	30%
Minimum Setbacks:	Front: 20' to Porch; 20' to Primary Building; 20' to Garage Rear: 25' to Primary Building; 5' to Detached Garage Side: 10' Interior; 20' Corner



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Plan 2 - Spanish Colonial

Plan 4 - Italianate

Plan 1 - Italianate

Plan 3 - Cottage

Spanish Colonial

The Spanish Colonial Style is an adaptation of Mission Revival enriched with additional Latin American details and elements. The homes are mostly asymmetrical 1 and 2 storied massing with one strong element. Roofs are finished with 'S' shape concrete tile over 4:12 hip or gabled roof forms. The walls are finished with a light to medium texture stucco, and are accented with the occasional use of decorative brick or ceramic tile. The windows are vertical multi-paned and trimmed with simple cementitious material (wood like) or stucco head and sill trim. Featured windows may occur in a recessed wall plane. Exterior accents may include cylindrical towers, porches, balconies, arched openings, and cementitious material (wood-like), stucco or wrought iron details.

The Spanish Colonial color palettes demonstrated in the street scenes were selected to reflect the architectural theme of the style in early 1900's. These colors will include a color range in off-whites or beige tones to light tans for the primary wall colors. The trim color is made up of lighter wood tones and darker colors, simulating the look of stain. Accent colors are deep jewel tones as well as rich earth tones. Roof colors are a subtle blend of terra-cotta shades.

Italianate

The Italianate Home's sophisticated façade and graceful details, especially the decorative brackets, make it easily recognizable. Roofs are 'S' shape concrete tile covering low pitch, usually at 4:12, hipped planes providing a continuous eave line. Walls of lightly textured stucco provide a vernacular that is enriched with selective use of cut stone as an entire surface material or as entry and corner accent. Vertical multi-paned windows are trimmed at the head and sill and occasionally at the jamb and may have arched or curved window tops. Exterior accents may include a pronounced entry with door surrounds of cementitious material (wood-like), stucco or simulated stone, pot shelves, balconies of decorative wrought iron, and shutters.

The Italianate color palettes demonstrated in the street scenes were selected to reflect the architectural theme of their origin. These colors will include rich, saturated hues of yellow, tan, and salmon for the primary wall colors. The trim color is deeply tinted whites or lighter wood tones and sometimes will include a darker secondary trim color. Accents are emphasized with the use of bolder jewel tones as well as rich earth tones. Roof colors are a complex blend of terra-cottas, browns, tans, and warm reds.

Cottage

Cottage is a picturesque style that reflects the rural setting of the area. The primary wall material is medium textured stucco, typically accented with stone or brick with a rusticated appearance or a mix of cementitious (wood like) horizontal, board & batten siding and stucco. The main roof is hipped and may have intersecting gables. Premium grade composition shingles or flat concrete tiles cover varied roof pitches from 4:12 to 8:12. Vertical multi-paned windows are trimmed at the jamb head and sill. Exterior accents may include porches, balconies of wood or wrought iron, shutters, pot shelves and window bays.

The Cottage color palettes demonstrated in the street scenes were selected to reflect the architectural theme of earlier examples. These colors will include soft, mid-value hues of beige, tan, yellow, gray, and green for the primary wall colors. The trim color is usually soft tinted whites that are in subtle contrast to the body color. Accent colors of muted blue, green, and red are used on entry doors, shutters, and other features. Roof colors are shades of gray, blue, green, and brown.



Rural Estate

Typical Plot Plan & Preliminary Floor Plans - First Floor



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Plan 2
 +/- 3153 Sq.Ft.
 4 Bdrm/3Ba/Den
 3 Car Garage
 Options: Den/Music Room

Plan 4
 4015 - 4284 Sq.Ft.
 3-5 Bdrm/4.5-5.5 Ba/Studio
 3 Car Garage
 Options: Casita/4 Car Garage/Media Room/Extended Family/Loft

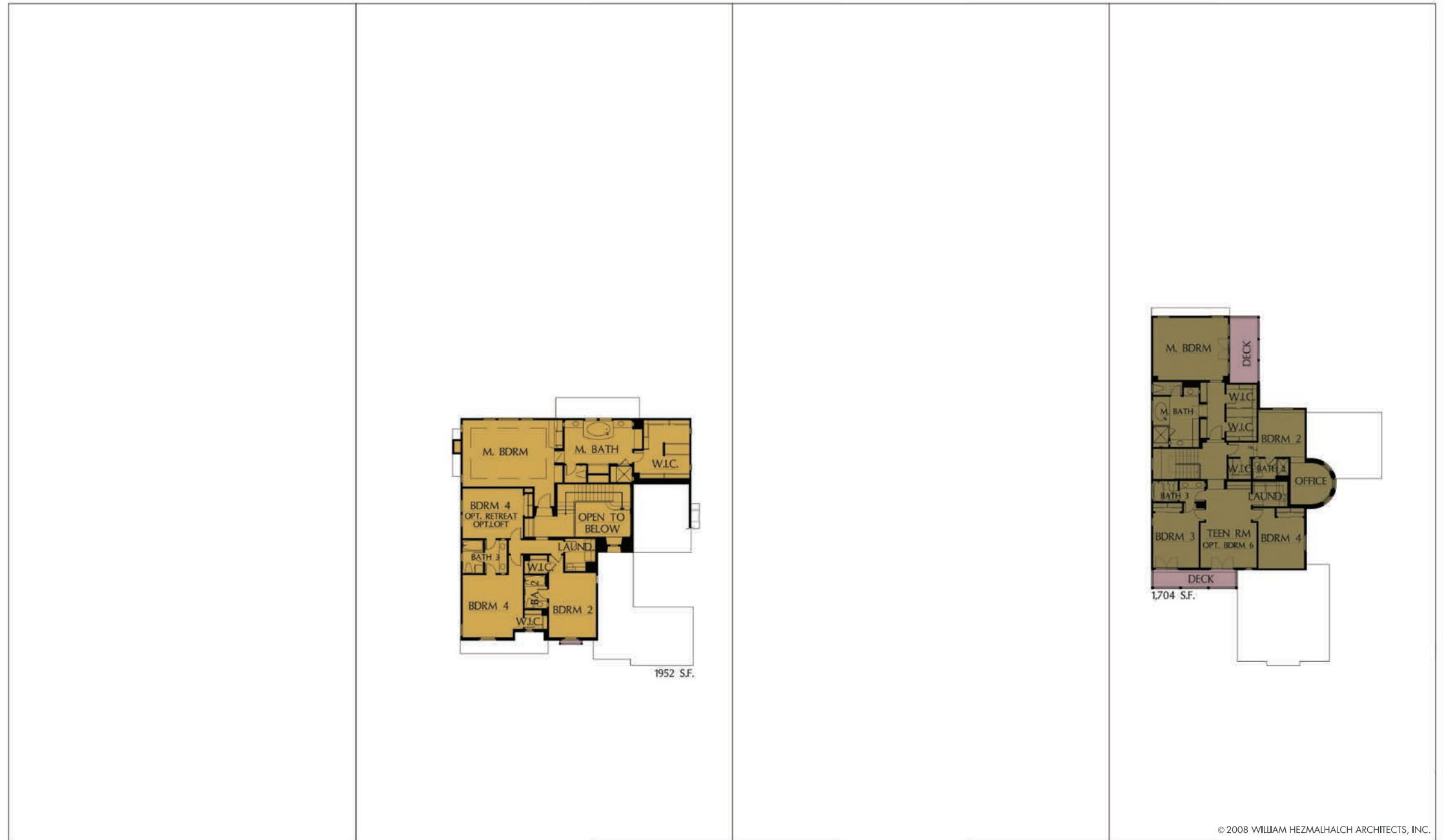
Plan 1
 2521 - 2738 Sq.Ft.
 5 Bdrm/2.5-3.5 Ba/Den
 2 Car Garage
 Options: Den/Guest Suite/3-Car Garage

Plan 3
 3553-3794 Sq.Ft.
 6 Bdrm/4-5 Ba/Teen Room/Office
 4 Car Garage
 Options: Guest Suite/Optional



Rural Estate

Preliminary Floor Plans - Second Floor



Plan 4

Plan 3

Low Density - Executive Estate

Preliminary Elevations

Minimum Lot Size:	6,000 SF
Minimum Lot Width:	50'
Minimum Lot Depth:	120'
Maximum Lot Coverage:	50%
Minimum Private Yard:	1500 SF
Minimum Setbacks:	Front: 10' to Porch; 15' to Primary Building; 20' to Garage Rear: 20' to Primary Building; 5' to Garage Side: 5' Interior; 10' Corner



Plan 1 - Farmhouse

Plan 2 - Craftsman

Plan 3 - Traditional

Plan 4 - Bungalow

Farmhouse

The Farmhouse style has evolved with respect to rural American culture and traditions, primarily found in the Mid-West. The main roof may be gabled or hipped with simple cornice trim at the gable ends. Decorative brackets may be found at the gables ends as well. Premium grade composition or flat concrete roof tiles cover roof pitches from 4:12 to 12:12. Walls are primarily covered with horizontal siding or board and batten. Vertical multi-paned windows with divided lites or inserts are trimmed at the jamb head and sill. The trim may be multi-layered at feature windows. Exterior accents include white-painted columns, shuttered windows, wood porches and balconies, decorative broken pediment trim, pot shelves and painted cementitious material (wood-like) vents at the gable end.

The Farmhouse color palette demonstrated in the street scenes were selected to reflect historic architectural themes. Colors are primarily whites, off-whites, light colors, and some dark. The trim colors are whites or light or dark colors to contrast with the primary field color of the house. Accents include white, light, or dark colors on the shutters, entry door, and other features to contrast or harmonize with the house color. Roof colors are shades of warm gray and brown.

Craftsman

The Craftsman Style is characterized by the rustic texture of the building materials, broad overhangs, and exposed rafter tails at the eaves. The homes are often characterized by 2-story massing with a significant single story element nestled against the main body of the structure. Roofs are finished with premium grade composition shingles or flat concrete tile cover low pitches of 3:12 to 5:12, often with cross gabled forms. The walls are predominately finished with cementitious (wood like) siding or stucco with a medium texture as a primary or secondary material. The walls are accented with the occasional use of a masonry wainscot in either textural rubble like stone or brick of a rustic handmade look. The windows have a vertical proportion with mullions in the upper half and trimmed with simple or shaped trim surrounds. Exterior accents include porches, stout columns, pot shelves, ridge beams and purlins with knee braces, and gable end articulation.

The Craftsman color palettes demonstrated in the street scenes were selected to reflect a modern interpretation of historic themes. These colors will include earth tones ranging from warm greens and light browns to tans and ochre yellows for the primary wall colors. The trim is a complimentary color to the wall color selected from the same earth tone range. Accent colors typically used on the entry door and railings are rich, light earthy shades of green, red, and brown. Roof colors are shades of warm green and brown.

Traditional

The Traditional style has evolved with respect to American culture and traditions primarily rooted in the East Coast and Midwest. The main roof may have simple cornice trim at the gable ends. Premium composition shingles or flat concrete roof tiles, cover roof pitches from 4:12 to 12:12. Walls are primarily covered with board and batten or horizontal siding. Vertical multi-paned windows with true divided lites or inserts are trimmed with cementitious material (wood-like) at the 4 jambs head and sill. The trim may be multi-layered. Exterior accents include white-painted columns, shuttered windows, wood porches and balconies, decorative broken pediment trim, pot shelves and painted cementitious material (wood-like) or composite vents at the gable ends.

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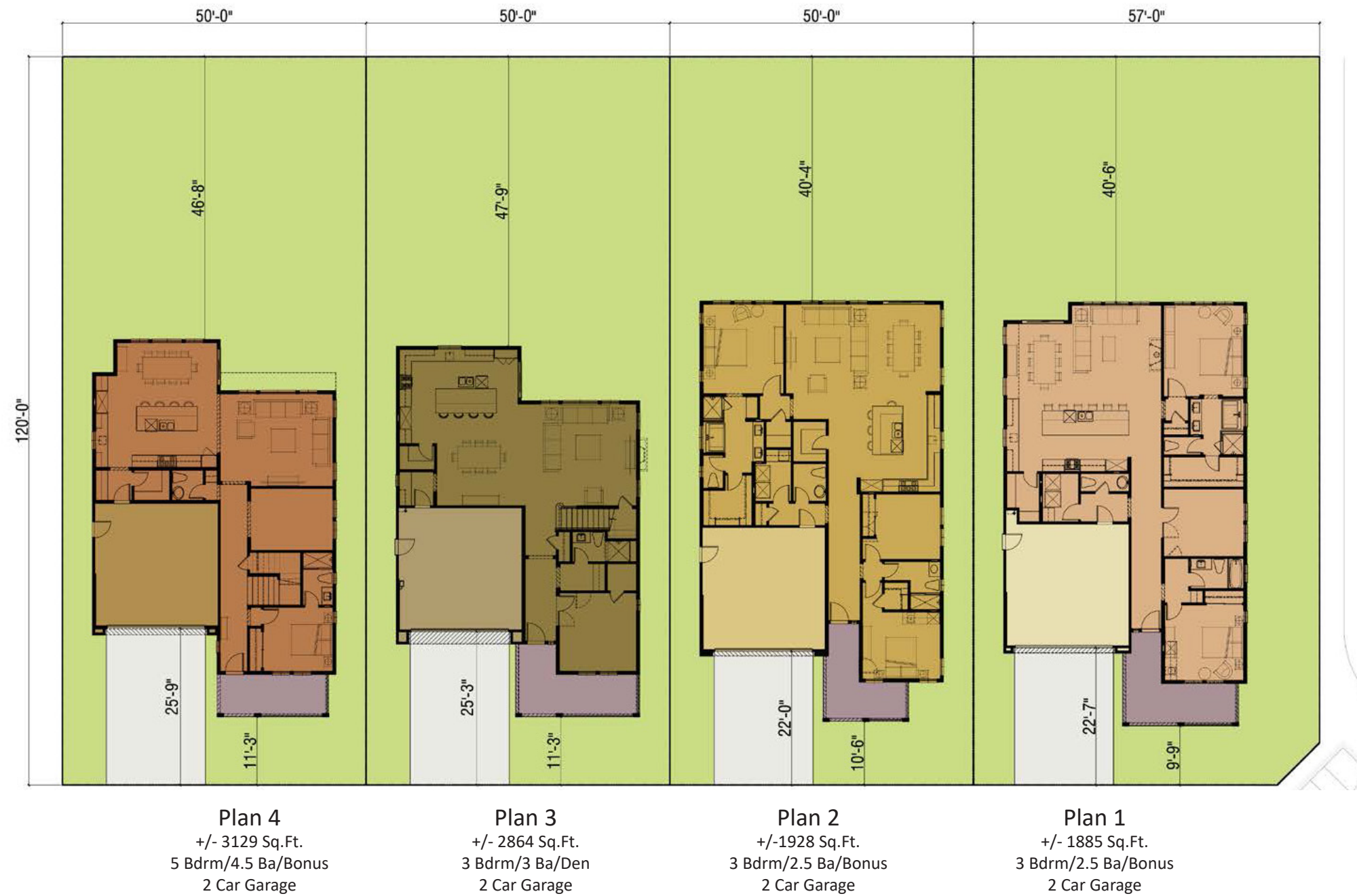
Bungalow

The Bungalow style is a derivative of the American Craftsman style. California was first introduced to the Bungalow style at the turn of the twentieth century, they were particularly popular in Southern California. Bungalows became popular in suburban neighborhoods all throughout California and nationwide. Bungalows often exhibit horizontal lines, ample porches, and lower pitched gable roofs. Common exterior materials included shingles for the roof, and siding and stucco on the walls. Typically, ornamentation is sparse, but wood, brick or stone accents embellish the elevations. Current design techniques include veneers and simulated wood materials as they are more durable.

The Bungalow color palette demonstrated in the street scenes were selected to reflect historic architectural themes. These colors will include earth tones and light neutrals for the primary wall colors. The trim colors are light or dark colors to contrast with the primary field color of the house. Accent colors typically used on the entry door are rich shades of green, blue, and black. Roof colors are shades of warm grey and brown.

Low Density - Executive Estate

Typical Plot Plan & Preliminary Floor Plans - First Floor



Low Density - Executive Estate

Preliminary Floor Plans - Second Floor



Low Density - Executive Estate

Preliminary Homeowner Options



Legend

Executive Estate
32 Lots, Phase 4

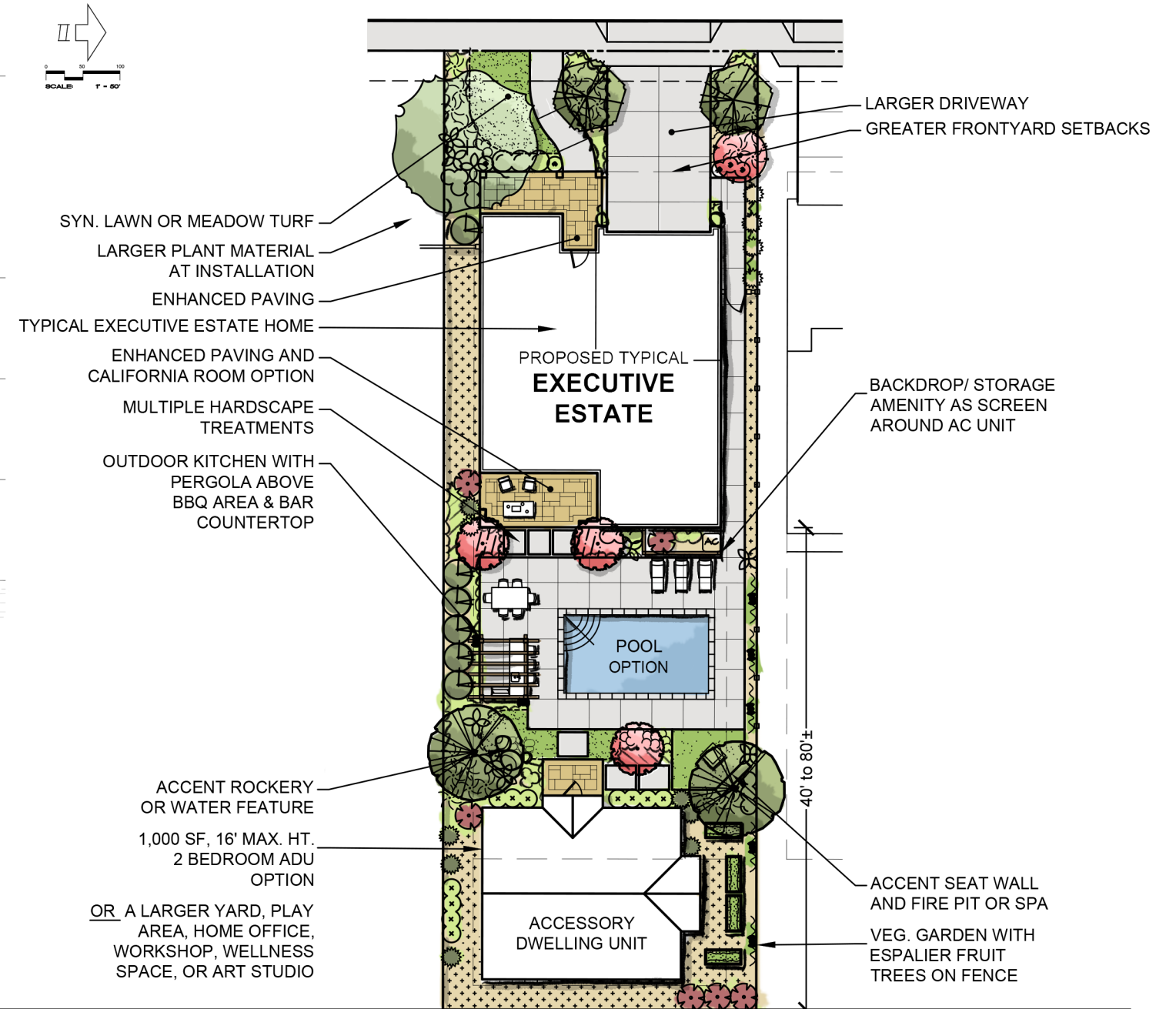
Upgrade Options:

- | | |
|---|--|
| <ul style="list-style-type: none"> - Premium color schemes and trim options. - Upgraded doors and windows. - Higher ceiling plates. - High-end finishes, appliances, & lighting. - Smart home features and security system | <ul style="list-style-type: none"> - Enhanced Landscape Features May Include:
Pool, Spa, Fire pit, Play area, or Garden designs - Exterior lighting Selectons - Colored concrete and various hardscapes/ materials. - Optional Accessory Dwelling Unit or Studio Space |
|---|--|

Enhanced Home Options

Note: The size of the typical Executive Estate Lot allows for greater flexibility in upgrade options compared to Low Density conventional lots. Typical upgrade options listed and depicted are dependent on material availability, market pricing, and individual lot constraints. Final selections to be determined.

Typical Lot 7,000 to 8,000+ Sq. Ft.



Typ. Executive Estate with Options

Low Density - Conventional

Preliminary Elevations

Minimum Lot Size:	5,000 SF
Minimum Lot Width:	50'
Minimum Lot Depth:	90'
Maximum Lot Coverage:	50%
Minimum Private Yard:	750 SF
Minimum Setbacks:	Front: 10' to Porch; 15' to Primary Building; 20' to Garage Rear: 15' to Primary Building; 5' to Garage Side: 5' Interior; 10' Corner



Plan 3 - Cottage

Plan 1X - Craftsman

Plan 1 - Farmhouse

Plan 2 - Traditional

Cottage

Cottage is a picturesque style that reflects the rural setting of the area. The primary wall material is medium textured stucco, typically accented with stone or brick with a rusticated appearance or a mix of cementitious (wood like) horizontal, board & batten siding and stucco. The main roof is hipped and may have intersecting gables. Premium grade composition shingles or flat concrete tiles cover varied roof pitches from 4:12 to 8:12. Vertical multi-paned windows are trimmed at the jamb head and sill. Exterior accents may include porches, balconies of wood or wrought iron, shutters, pot shelves and window bays.

The Cottage color palettes demonstrated in the street scenes were selected to reflect the architectural theme of earlier examples. These colors will include soft, mid-value hues of beige, tan, yellow, gray, and green for the primary wall colors. The trim color is usually soft tinted whites that are in subtle contrast to the body color. Accent colors of muted blue, green, and red are used on entry doors, shutters, and other features. Roof colors are shades of gray, blue, green, and brown.

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The Craftsman Style is characterized by the rustic texture of the building materials, broad overhangs, and exposed rafter tails at the eaves. The homes are often characterized by 2-story massing with a significant single story element nestled against the main body of the structure. Roofs are finished with premium grade composition shingles or flat concrete tile cover low pitches of 3:12 to 5:12, often with cross gabled forms. The walls are predominately finished with cementitious (wood like) siding or stucco with a medium texture as a primary or secondary material. The walls are accented with the occasional use of a masonry wainscot in either textural rubble like stone or brick of a rustic handmade look. The windows have a vertical proportion with mullions in the upper half and trimmed with simple or shaped trim surrounds. Exterior accents include porches, stout columns, pot shelves, ridge beams and purlins with knee braces, and gable end articulation.

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Farmhouse

The Farmhouse style has evolved with respect to rural American culture and traditions, primarily found in the Mid-West. The main roof may be gabled or hipped with simple cornice trim at the gable ends. Decorative brackets may be found at the gables ends as well. Premium grade composition or flat concrete roof tiles cover roof pitches from 4:12 to 12:12. Walls are primarily covered with horizontal siding or board and batten. Vertical multi-paned windows with divided lites or inserts are trimmed at the jamb head and sill. The trim may be multi-layered at feature windows. Exterior accents include white-painted columns, shuttered windows, wood porches and balconies, decorative broken pediment trim, pot shelves and painted cementitious material (wood-like) vents at the gable end.

The Farmhouse color palette demonstrated in the street scenes were selected to reflect historic architectural themes. Colors are primarily whites, off-whites, light colors, and some dark. The trim colors are whites or light or dark colors to contrast with the primary field color of the house. Accents include white, light, or dark colors on the shutters, entry door, and other features to contrast or harmonize with the house color. Roof colors are shades of warm gray and brown.

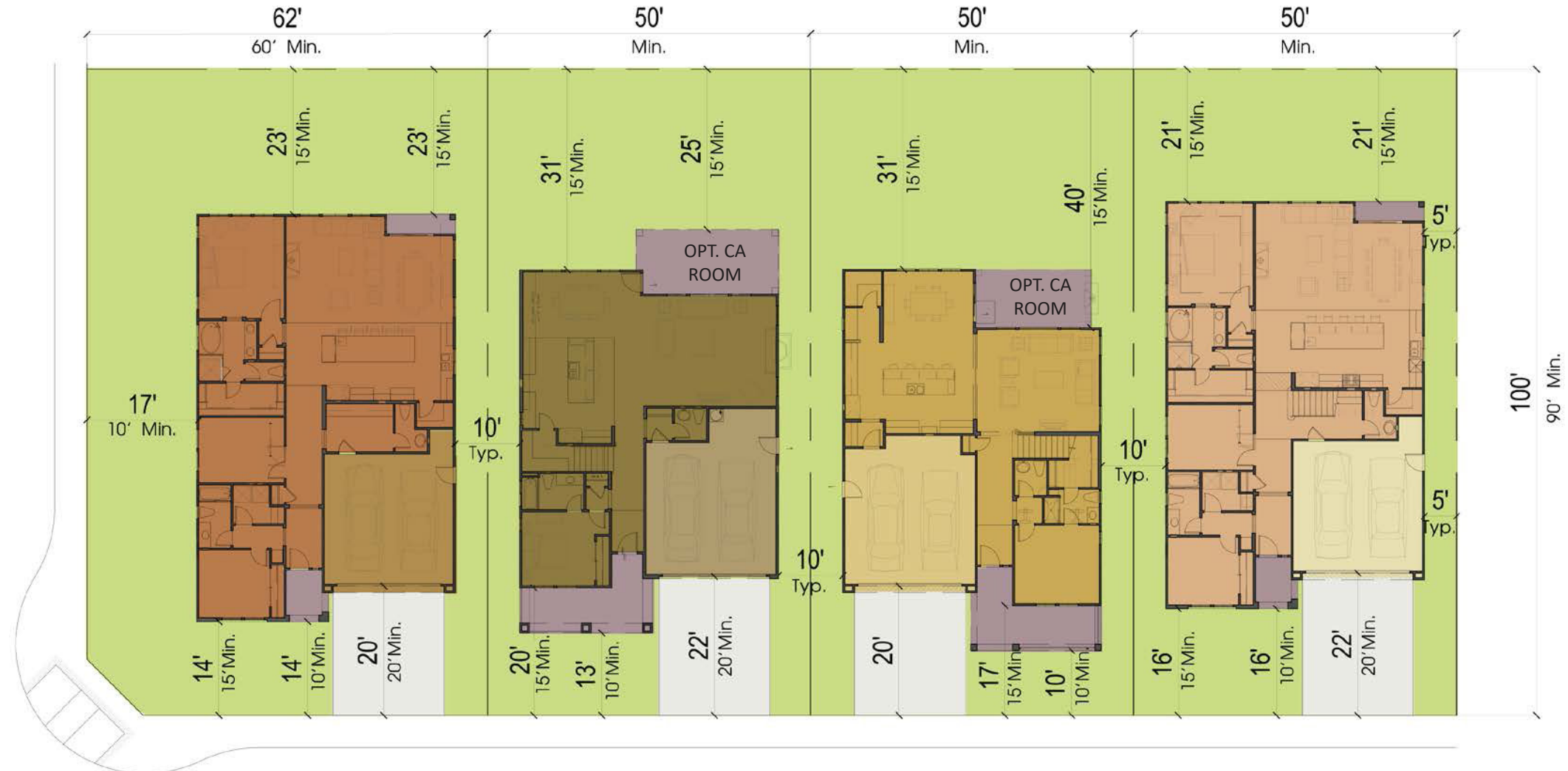
Traditional

The Traditional style has evolved with respect to American culture and traditions primarily rooted in the East Coast and Midwest. The main roof may have simple cornice trim at the gable ends. Premium composition shingles or flat concrete roof tiles, cover roof pitches from 4:12 to 12:12. Walls are primarily covered with board and batten or horizontal siding. Vertical multi-paned windows with true divided lites or inserts are trimmed with cementitious material (wood-like) at the 4 jambs head and sill. The trim may be multi-layered. Exterior accents include white-painted columns, shuttered windows, wood porches and balconies, decorative broken pediment trim, pot shelves and painted cementitious material (wood-like) or composite vents at the gable ends.

The Traditional color palette demonstrated in the street scenes were selected to reflect historic architectural themes. Colors are primarily whites, off-whites, light colors, and some dark. The trim colors are whites or light or dark colors to contrast with the primary field color of the house. Accents include white, light, or dark colors on the shutters, entry door, and other features to contrast or harmonize with the house color. Roof colors are shades of warm gray and brown.

Low Density - Conventional

Typical Plot Plan & Preliminary Floor Plans - First Floor



Plan 1
 +/- 1888 Sq.Ft.
 2 Bdrm/2.5 Ba/Den
 2 Car Garage

Plan 3
 +/- 2855 Sq.Ft.
 4 Bdrm/Loft/3.5 Ba
 2 Car Garage

 Opt. California Room
 +/- 135 Sq.Ft.

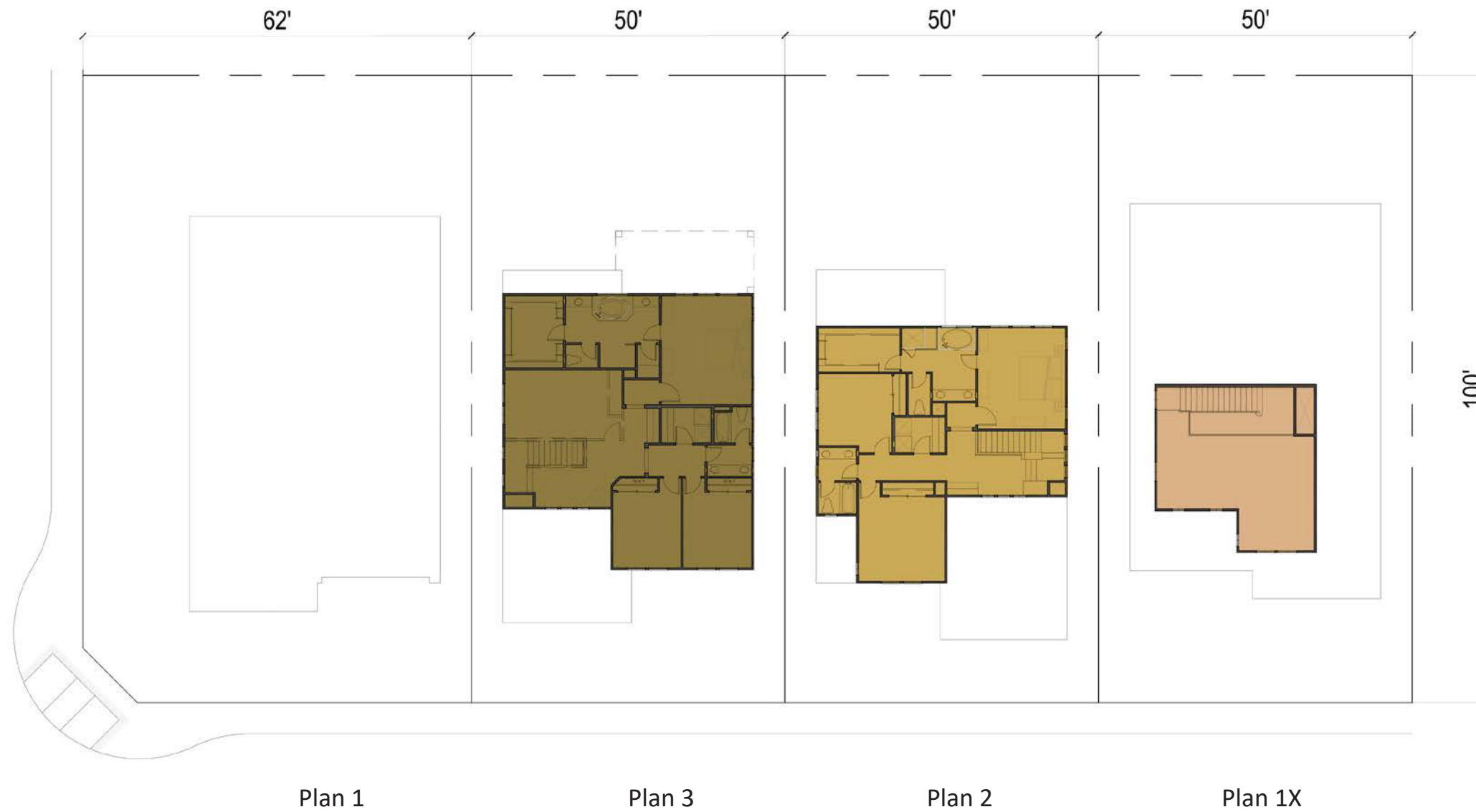
Plan 2
 +/- 2549 Sq.Ft.
 3 Bdrm/2.5 Ba/Den/Opt. Suite
 2 Car Garage

 Opt. California Room
 +/- 162 Sq.Ft.

Plan 1X
 +/- 2308 Sq.Ft.
 2 Bdrm/2.5 Ba/Den/Bonus
 2 Car Garage

Low Density - Conventional

Preliminary Floor Plans - Second Floor



SE Medium Density - Conventional

Preliminary Elevations

Minimum Lot Size:	3,000 SF
Minimum Lot Width:	35'
Minimum Lot Depth:	80'
Maximum Lot Coverage:	50%
Minimum Private Yard:	400 SF
Minimum Setbacks:	Front: 5' to Porch; 10' to Primary Building; 20' to Garage Rear: 10' to Primary Building; 5' to Garage Side: 4' Interior; 10' Corner



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Plan 2 - Traditional

Plan 3 - Farmhouse

Plan 2 - Craftsman

Plan 3 - Cottage

Plan 1 - Traditional

Cottage

Cottage is a picturesque style that reflects the rural setting of the area. The primary wall material is medium textured stucco, typically accented with stone or brick with a rusticated appearance or a mix of cementitious (wood like) horizontal, board & batten siding and stucco. The main roof is hipped and may have intersecting gables. Premium grade composition shingles or flat concrete tiles cover varied roof pitches from 4:12 to 8:12. Vertical multi-paned windows are trimmed at the jamb head and sill. Exterior accents may include porches, balconies of wood or wrought iron, shutters, pot shelves and window bays.

The Cottage color palettes demonstrated in the street scenes were selected to reflect the architectural theme of earlier examples. These colors will include soft, mid-value hues of beige, tan, yellow, gray, and green for the primary wall colors. The trim color is usually soft tinted whites that are in subtle contrast to the body color. Accent colors of muted blue, green, and red are used on entry doors, shutters, and other features. Roof colors are shades of gray, blue, green, and brown.



Farmhouse

The Farmhouse style has evolved with respect to rural American culture and traditions, primarily found in the Mid-West. The main roof may be gabled or hipped with simple cornice trim at the gable ends. Decorative brackets may be found at the gables ends as well. Premium grade composition or flat concrete roof tiles cover roof pitches from 4:12 to 12:12. Walls are primarily covered with horizontal siding or board and batten. Vertical multi-paned windows with divided lites or inserts are trimmed at the jamb head and sill. The trim may be multi-layered at feature windows. Exterior accents include white-painted columns, shuttered windows, wood porches and balconies, decorative broken pediment trim, pot shelves and painted cementitious material (wood-like) vents at the gable end.

The Farmhouse color palette demonstrated in the street scenes were selected to reflect historic architectural themes. Colors are primarily whites, off-whites, light colors, and some dark. The trim colors are whites or light or dark colors to contrast with the primary field color of the house. Accents include white, light, or dark colors on the shutters, entry door, and other features to contrast or harmonize with the house color. Roof colors are shades of warm gray and brown.

Special Condition: Two SE Mmedium Density lots located at the northwest corner of the Specific Plan will be developed using a one-story home from the Low Density -Plan 1.

Craftsman

The Craftsman Style is characterized by the rustic texture of the building materials, broad overhangs, and exposed rafter tails at the eaves. The homes are often characterized by 2-story massing with a significant single story element nestled against the main body of the structure. Roofs are finished with premium grade composition shingles or flat concrete tile cover low pitches of 3:12 to 5:12, often with cross gabled forms. The walls are predominately finished with cementitious (wood like) siding or stucco with a medium texture as a primary or secondary material. The walls are accented with the occasional use of a masonry wainscot in either textural rubble like stone or brick of a rustic handmade look. The windows have a vertical proportion with mullions in the upper half and trimmed with simple or shaped trim surrounds. Exterior accents include porches, stout columns, pot shelves, ridge beams and purlins with knee braces, and gable end articulation.

The Craftsman color palettes demonstrated in the street scenes were selected to reflect a modern interpretation of historic themes. These colors will include earth tones ranging from warm greens and light browns to tans and ochre yellows for the primary wall colors. The trim is a complimentary color to the wall color selected from the same earth tone range. Accent colors typically used on the entry door and railings are rich, light earthy shades of green, red, and brown. Roof colors are shades of warm green and brown.

Traditional

The Traditional style has evolved with respect to American culture and traditions primarily rooted in the East Coast and Midwest. The main roof may have simple cornice trim at the gable ends. Premium composition shingles or flat concrete roof tiles, cover roof pitches from 4:12 to 12:12. Walls are primarily covered with board and batten or horizontal siding. Vertical multi-paned windows with true divided lites or inserts are trimmed with cementitious material (wood-like) at the 4 jambs head and sill. The trim may be multi-layered. Exterior accents include white-painted columns, shuttered windows, wood porches and balconies, decorative broken pediment trim, pot shelves and painted cementitious material (wood-like) or composite vents at the gable ends.

The Traditional color palette demonstrated in the street scenes were selected to reflect historic architectural themes. Colors are primarily whites, off-whites, light colors, and some dark. The trim colors are whites or light or dark colors to contrast with the primary field color of the house. Accents include white, light, or dark colors on the shutters, entry door, and other features to contrast or harmonize with the house color. Roof colors are shades of warm gray and brown.

SE Medium Density - Conventional

Typical Plot Plan & Preliminary Floor Plans - First Floor



Plan 1
 +/- 2103-2111 Sq.Ft.
 3 Bdrm/Loft(Opt.Bdrm 4)/2.5 Ba
 2 Car Garage

Plan 2
 +/- 2238 Sq.Ft.
 4 Bdrm/Opt. Den/3 Ba
 2 Car Garage

Plan 3
 +/- 2480-2495 Sq.Ft.
 4 Bdrm/Loft/Den
 (Opt. Bdrm 5)/2.5 Ba(Opt.Ba 3)
 2 Car Garage

SE Medium Density - Conventional

Preliminary Floor Plans - Second Floor



Plan 1

Plan 2

Plan 3

SE Medium Density - Conventional Duet

Preliminary Elevations

Minimum Lot Size:	1,800 SF
Minimum Lot Width:	29'
Minimum Lot Depth:	60'
Maximum Lot Coverage:	70%
Minimum Private Yard:	250 SF
Minimum Setbacks:	Front: 5' to Porch; 8' to Primary Building; 18' to Garage Side: 0/8' Aggregate



Front - Craftsman
Plan 4

Craftsman

The Craftsman Style is characterized by the rustic texture of the building materials, broad overhangs, and exposed rafter tails at the eaves. The homes are often characterized by 2-story massing with a significant single story element nestled against the main body of the structure. Roofs are finished with premium grade composition shingles or flat concrete tile cover low pitches of 3:12 to 5:12, often with cross gabled forms. The walls are predominately finished with cementitious (wood like) siding or stucco with a medium texture as a primary or secondary material. The walls are accented with the occasional use of a masonry wainscot in either textural rubble like stone or brick of a rustic handmade look. The windows have a vertical proportion with mullions in the upper half and trimmed with simple or shaped trim surrounds. Exterior accents include porches, stout columns, pot shelves, ridge beams and purlins with knee braces, and gable end articulation.

The Craftsman color palettes demonstrated in the street scenes were selected to reflect a modern interpretation of historic themes. These colors will include earth tones ranging from warm greens and light browns to tans and ochre yellows for the primary wall colors. The trim is a complimentary color to the wall color selected from the same earth tone range. Accent colors typically used on the entry door and railings are rich, light earthy shades of green, red, and brown. Roof colors are shades of warm green and brown.



Right Side - Craftsman
Plan 4 Plan 5

Cottage

Cottage is a picturesque style that reflects the rural setting of the area. The primary wall material is medium textured stucco, typically accented with stone or brick with a rusticated appearance or a mix of cementitious (wood like) horizontal, board & batten siding and stucco. The main roof is hipped and may have intersecting gables. Premium grade composition shingles or flat concrete tiles cover varied roof pitches from 4:12 to 8:12. Vertical multi-paned windows are trimmed at the jamb head and sill. Exterior accents may include porches, balconies of wood or wrought iron, shutters, pot shelves and window bays.

The Cottage color palettes demonstrated in the street scenes were selected to reflect the architectural theme of earlier examples. These colors will include soft, mid-value hues of beige, tan, yellow, gray, and green for the primary wall colors. The trim color is usually soft tinted whites that are in subtle contrast to the body color. Accent colors of muted blue, green, and red are used on entry doors, shutters, and other features. Roof colors are shades of gray, blue, green, and brown.

Right Side - Cottage
Plan 4 Plan 5



Front - Cottage
Plan 4

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SE Medium Density - Conventional Duet

Preliminary Floor Plans



Plan 4

Plan 5

Conceptual Second Floor Plan



Plan 5
+/- 1412 Sq.Ft.
3 Bdrm/2.5 Ba
2 Car Garage

Plan 4
+/- 1214 Sq.Ft.
2 Bdrm/2.5 Ba
1 Car Garage

Conceptual First Floor Plan

SE Medium Density - Motorcourt

Preliminary Elevations

Minimum Lot Size: 3,000 SF
 Minimum Lot Width: 50'
 Minimum Lot Depth: 55'
 Maximum Lot Coverage: 60%
 Minimum Private Yard: 350 SF
 Minimum Setbacks: Front: 5' to Porch; 8' to Primary Building; 20' to Garage from Public Street and 18' from Private street
 Rear: 10' to Primary Building
 Side: 4' Interior; 7' Corner



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Plan 3 - Farmhouse

20'
Private Drive

Plan 4 - Cottage

Plan 3 - Traditional

20'
Private Drive

Plan 4 - Craftsman

Cottage

Cottage is a picturesque style that reflects the rural setting of the area. The primary wall material is medium textured stucco, typically accented with stone or brick with a rusticated appearance or a mix of cementitious (wood like) horizontal, board & batten siding and stucco. The main roof is hipped and may have intersecting gables. Premium grade composition shingles or flat concrete tiles cover varied roof pitches from 4:12 to 8:12. Vertical multi-paned windows are trimmed at the jamb head and sill. Exterior accents may include porches, balconies of wood or wrought iron, shutters, pot shelves and window bays.

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Farmhouse

The Farmhouse style has evolved with respect to rural American culture and traditions, primarily found in the Mid-West. The main roof may be gabled or hipped with simple cornice trim at the gable ends. Decorative brackets may be found at the gables ends as well. Premium grade composition or flat concrete roof tiles cover roof pitches from 4:12 to 12:12. Walls are primarily covered with horizontal siding or board and batten. Vertical multi-paned windows with divided lites or inserts are trimmed at the jamb head and sill. The trim may be multi-layered at feature windows. Exterior accents include white-painted columns, shuttered windows, wood porches and balconies, decorative broken pediment trim, pot shelves and painted cementitious material (wood-like) vents at the gable end.

The Farmhouse color palette demonstrated in the street scenes were selected to reflect historic architectural themes. Colors are primarily whites, off-whites, light colors, and some dark. The trim colors are whites or light or dark colors to contrast with the primary field color of the house. Accents include white, light, or dark colors on the shutters, entry door, and other features to contrast or harmonize with the house color. Roof colors are shades of warm gray and brown.

Craftsman

The Craftsman Style is characterized by the rustic texture of the building materials, broad overhangs, and exposed rafter tails at the eaves. The homes are often characterized by 2-story massing with a significant single story element nestled against the main body of the structure. Roofs are finished with premium grade composition shingles or flat concrete tile cover low pitches of 3:12 to 5:12, often with cross gabled forms. The walls are predominately finished with cementitious (wood like) siding or stucco with a medium texture as a primary or secondary material. The walls are accented with the occasional use of a masonry wainscot in either textural rubble like stone or brick of a rustic handmade look. The windows have a vertical proportion with mullions in the upper half and trimmed with simple or shaped trim surrounds. Exterior accents include porches, stout columns, pot shelves, ridge beams and purlins with knee braces, and gable end articulation.

The Craftsman color palettes demonstrated in the street scenes were selected to reflect a modern interpretation of historic themes. These colors will include earth tones ranging from warm greens and light browns to tans and ochre yellows for the primary wall colors. The trim is a complimentary color to the wall color selected from the same earth tone range. Accent colors typically used on the entry door and railings are rich, light earthy shades of green, red, and brown. Roof colors are shades of warm green and brown.

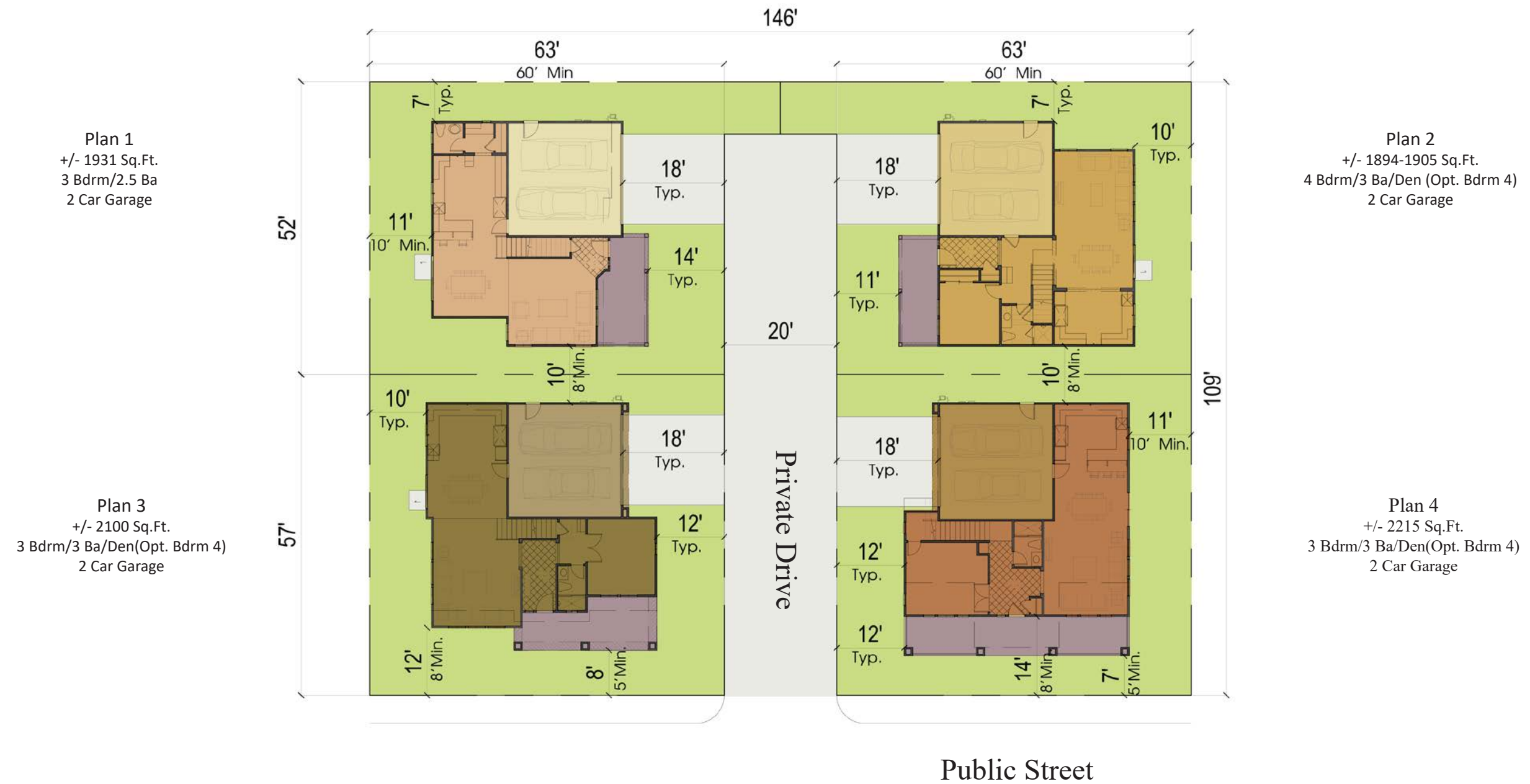
Traditional

The Traditional style has evolved with respect to American culture and traditions primarily rooted in the East Coast and Midwest. The main roof may have simple cornice trim at the gable ends. Premium composition shingles or flat concrete roof tiles, cover roof pitches from 4:12 to 12:12. Walls are primarily covered with board and batten or horizontal siding. Vertical multi-paned windows with true divided lites or inserts are trimmed with cementitious material (wood-like) at the 4 jamba head and sill. The trim may be multi-layered. Exterior accents include white-painted columns, shuttered windows, wood porches and balconies, decorative broken pediment trim, pot shelves and painted cementitious material (wood-like) or composite vents at the gable ends.

The Traditional color palette demonstrated in the street scenes were selected to reflect historic architectural themes. Colors are primarily whites, off-whites, light colors, and some dark. The trim colors are whites or light or dark colors to contrast with the primary field color of the house. Accents include white, light, or dark colors on the shutters, entry door, and other features to contrast or harmonize with the house color. Roof colors are shades of warm gray and brown.

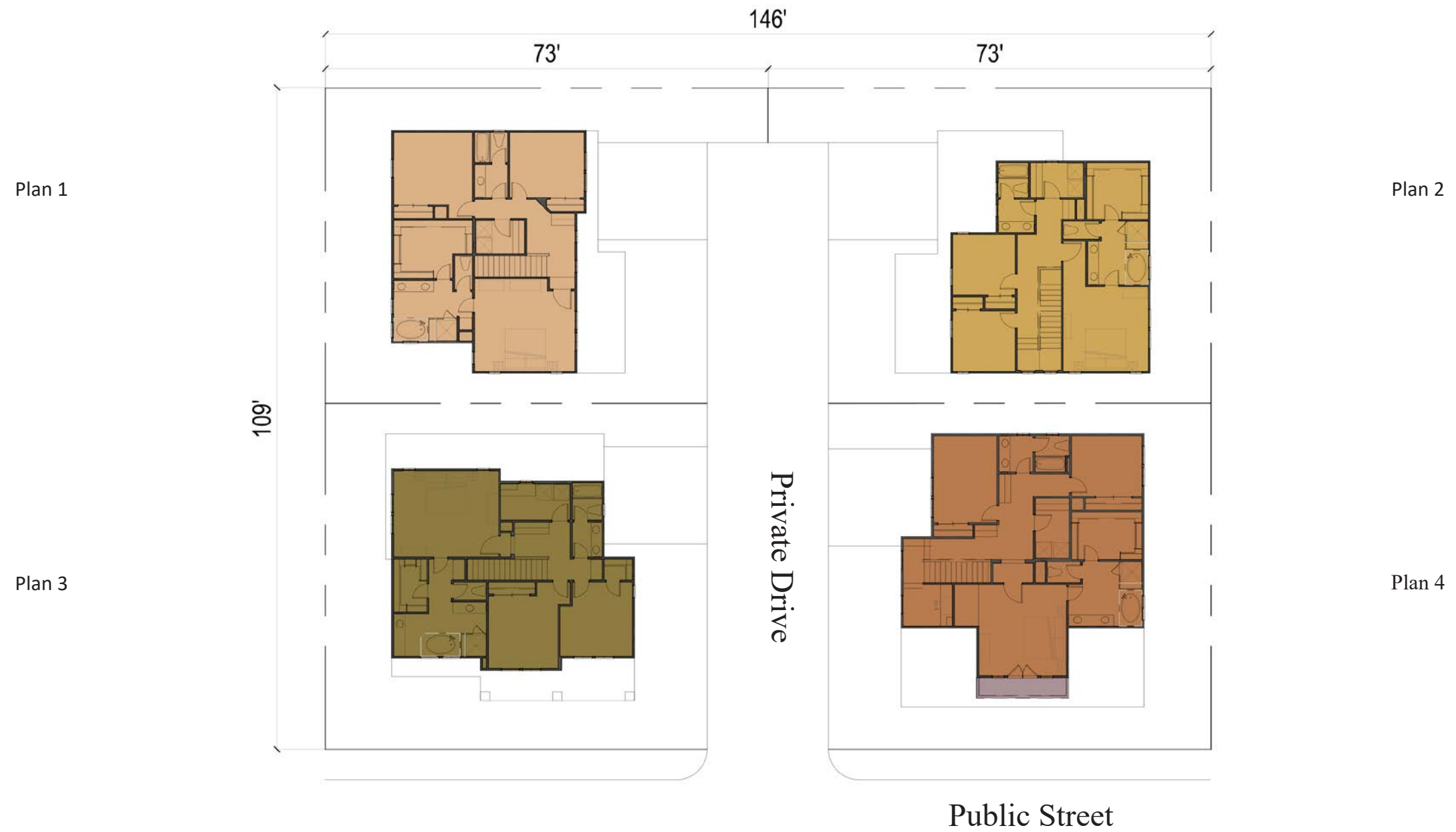
SE Medium Density - Motorcourt

Typical Plot Plan & Preliminary Floor Plans - First Floor



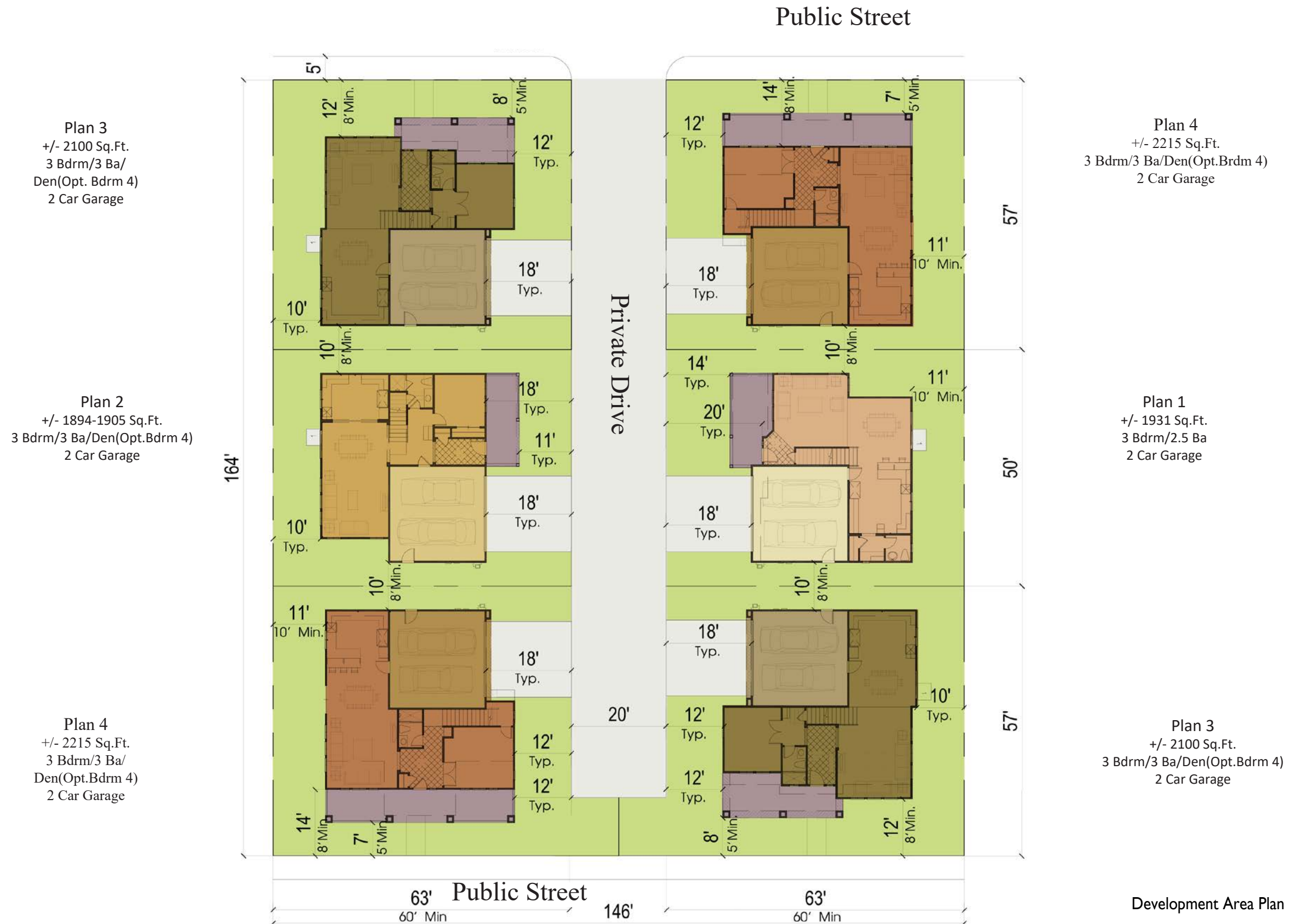
SE Medium Density - Motorcourt

Preliminary Floor Plans - Second Floor



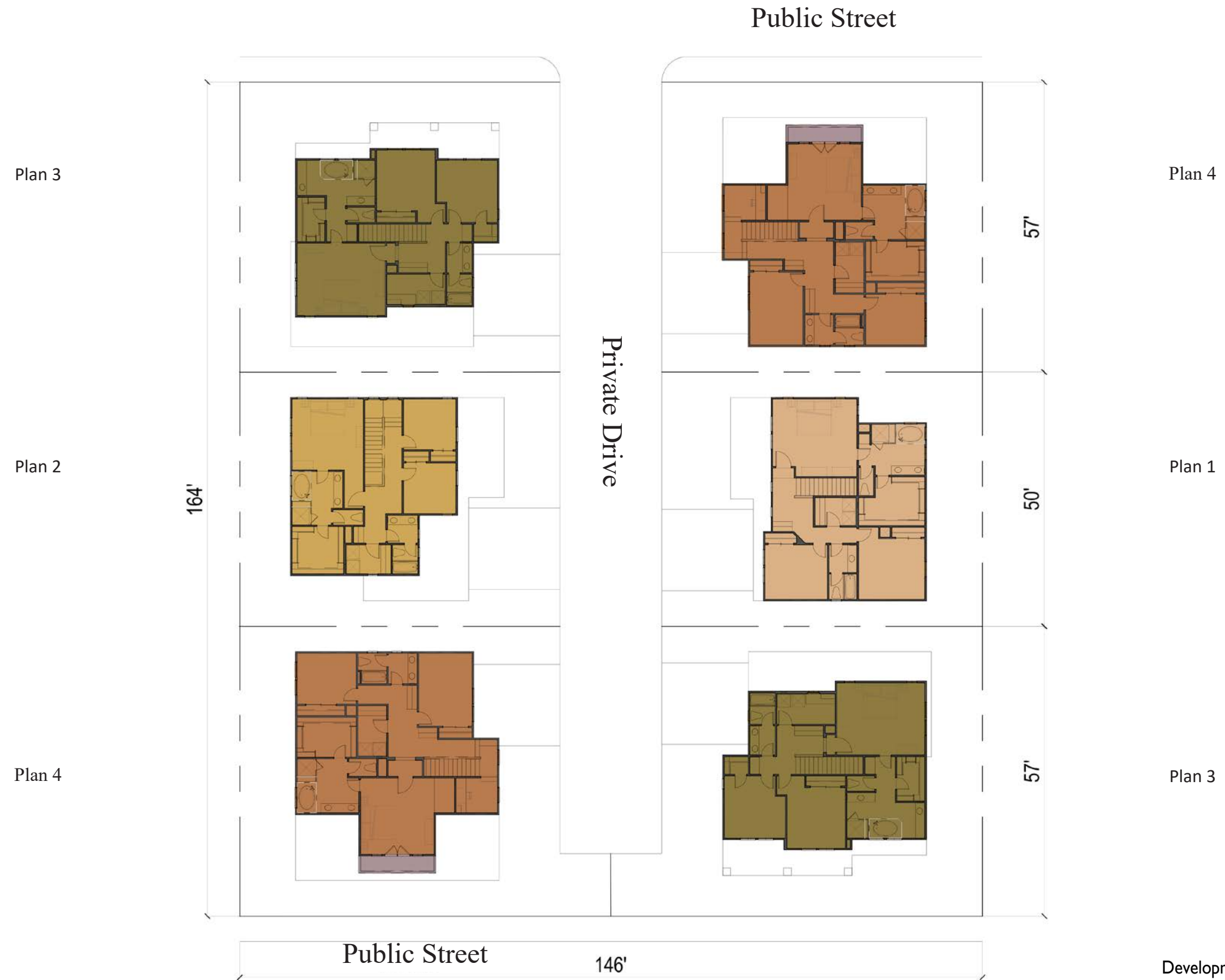
SE Medium Density - Motorcourt

Typical Plot Plan & Preliminary Floor Plans - First Floor



SE Medium Density - Motorcourt

Preliminary Floor Plans - Second Floor



Mixed-Use Site - Conceptual Site Plan with Parking & Loading



Retail:		
Total Site Area:	65,498 SF (1.50 AC)	100%
Total Building Footprint:	10,340 SF	16%
Total Open Space/Landscaped Area:	29,065 SF	44%
Total Paving Area:	26,084 SF	40%
Gross Floor Area:	10,340 SF	
FAR:	0.20	
Loading:	1 Space (15'x30')	
Parking:	59 Public Spaces (Incl. 6 Flex Spaces)	
	3 Accessible Spaces	
	62 Total Spaces	
	1.4 Spaces/300 SF Retail	
	(1 per 300 SF required)	
Apartments:		
Total Site Area:	76,230 SF (1.75 AC)	100%
Dwelling Unit (DU) Count:	36 Total	
1 Bedroom:	18	
2 Bedroom:	11	
3 Bedroom:	7	
Density:	20.2 DU/AC	
Total Building Footprint:	26,956 SF Total	35%
Open Space/Landscaped Area:	33,757 SF	44%
Total Paving Area:	16,804 SF	21%
Gross Floor Area:	50,178 SF	
FAR:	0.65	
Total Private Open Space:	3,162 SF	
Parking:	25 Guest Spaces	
	3 Accessible Spaces	
	36 Private Carport Spaces	
	64 Total Spaces	
Townhomes:		
Total Site Area:	133,178 SF (3.06 AC)	100%
Total Building Footprint:	51,796 SF	39%
On-Grade Private Open Space:	8,216 SF	6%
Total Open Space/Landscaped Area:	39,777 SF	30%
Total Paving Area:	33,389 SF	25%
Gross Floor Area:	95,389 SF	
Unit Count:	45 Total	
3 Bedroom:	29	
4 Bedroom:	16	
Density:	14.7 DU/AC	
FAR:	0.72	
Parking:	15 Public Spaces	
	1 Accessible Space	
	90 Private Garage Spaces	
	106 Total Spaces	
	(102 required)	



Apartments

Preliminary Elevations

Maximum Lot Coverage: 80%
Minimum Private Yard: 50 SF
Minimum Setbacks: Front: 20' to Primary Building
Rear: 10' to Primary Building
Side: 20' to Corner



Building A

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Building B

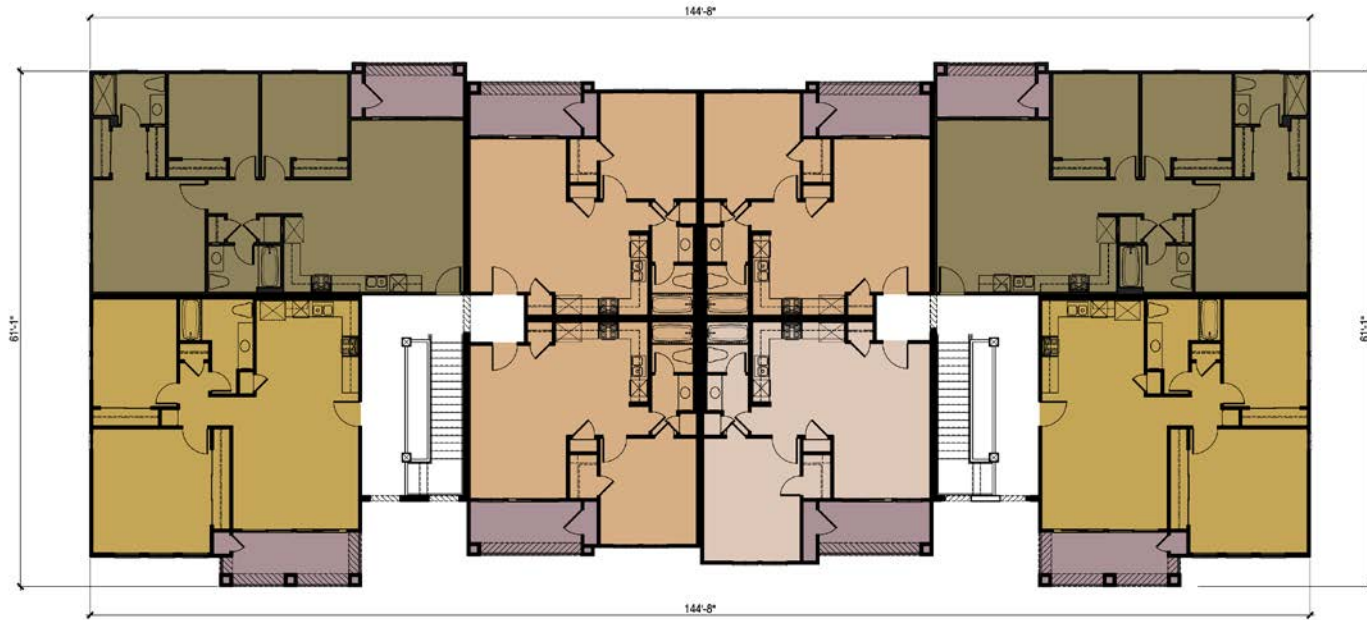
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The 2-story Apartments are a collection of 1, 2, and 3 bedroom flats and attached 1-car garages arranged in (2) two different 12-unit buildings for a total of (3) three buildings and (36) units. The elevation facades are designed in a Traditional Style with paneled elements, shutters, and fully trimmed windows, and paneled columns on a brick base. Particular attention has been paid to the building massing to provide a variety of forms and window arrangements to differentiate 'like units' and give a more eclectic appearance. The low pitched roofs are at a 4:12 pitch with a mix of gables and hipped roof forms. The exterior facades are stucco with (2) two complementary colors to articulate the massing between first and second floors. Each apartment has either a covered patio at grade (first floor) or a covered deck at the second floor for private outdoor space. The (12) twelve first floor units (a mix of 1, 2, or 3 bedroom) are ADA accessible.

Apartments

Preliminary Floor Plans - Building A

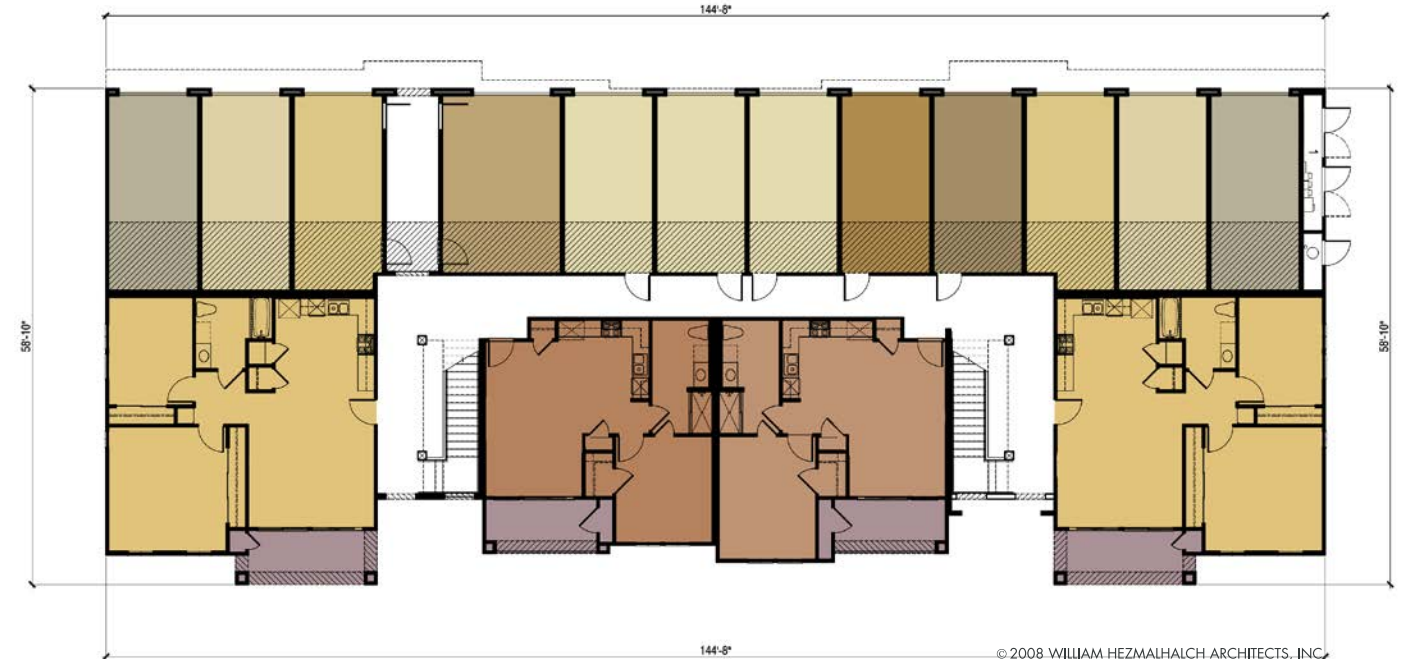
Plan 3 +/- 1060 Sq.Ft. (Net) +/- 1116 Sq.Ft. (Gross) +/-77 Sq.Ft. (Patio) 3 Bdrm/2 Ba 1 Car Garage	Plan 1 +/- 603 Sq.Ft. (Net) +/-643 Sq.Ft. (Gross) +/- 84 Sq. Ft. (Patio) 1 Bdrm/1 Ba 1 Car Garage	Plan 1 +/- 603 Sq.Ft. (Net) +/-643 Sq.Ft. (Gross) +/-84 Sq. Ft. (Patio) 1 Bdrm/1 Ba 1 Car Garage	Plan 3 +/-1060 Sq.Ft. (Net) +/-1116 Sq.Ft. (Gross) +/- 77 Sq.Ft. (Patio) 3 Bdrm/2 Ba 1 Car Garage
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Plan 2 +/-899 Sq.Ft. (Net) +/-952 Sq.Ft. (Gross) +/-99 Sq.Ft. (Patio) 2 Bdrm/1 Ba 1 Car Garage	Plan 1 +/- 603 Sq.Ft. (Net)+/- 643 Sq.Ft. (Gross)+/- 84 Sq. Ft. (Patio) 1 Bdrm/1 Ba 1 Car Garage	Plan 1X +/- 625 Sq.Ft. (Net) +/-670 Sq.Ft. (Gross) +/-84 Sq. Ft. (Patio) 1 Bdrm/1 Ba 1 Car Garage	Plan 2 +/-899 Sq.Ft. (Net) +/-952 Sq.Ft. (Gross) +/-99 Sq.Ft. (Patio) 2 Bdrm/1 Ba 1 Car Garage
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Second Floor



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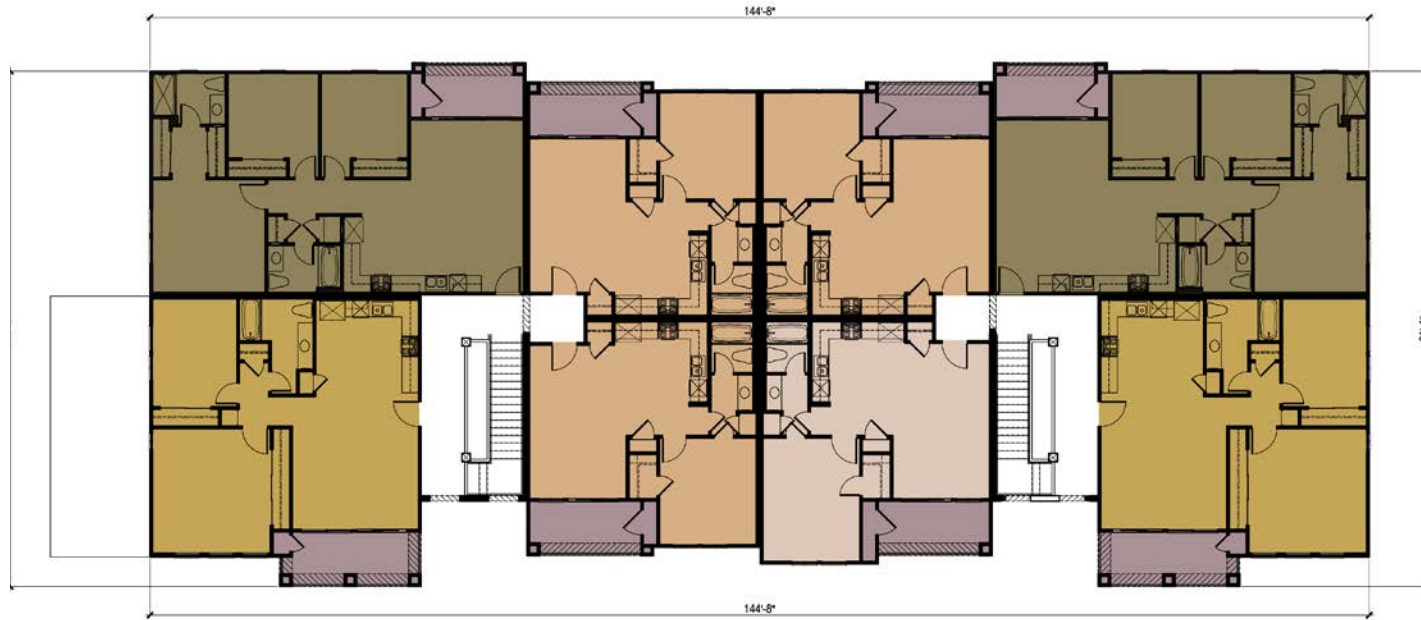
Plan 2-ADA +/-899 Sq.Ft. (Net) +/-952 Sq.Ft. (Gross) +/-99 Sq.Ft. (Patio) 2 Bdrm/1 Ba 1 Car Garage	Plan 1-ADA +/- 606 Sq.Ft. (Net) +/- 647 Sq.Ft. (Gross) +/-84 Sq. Ft. (Patio) 1 Bdrm/1 Ba 1 Car Garage	Plan 1X-ADA +/- 629 Sq.Ft. (Net) +/- 673 Sq.Ft. (Gross) +/- 84 Sq. Ft. (Patio) 1 Bdrm/1 Ba 1 Car Garage	Plan 2-ADA +/-899 Sq.Ft. (Net) +/- 952 Sq.Ft. (Gross) +/-99 Sq.Ft. (Patio) 2 Bdrm/1 Ba 1 Car Garage
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First Floor

Apartments

Preliminary Floor Plans - Building B

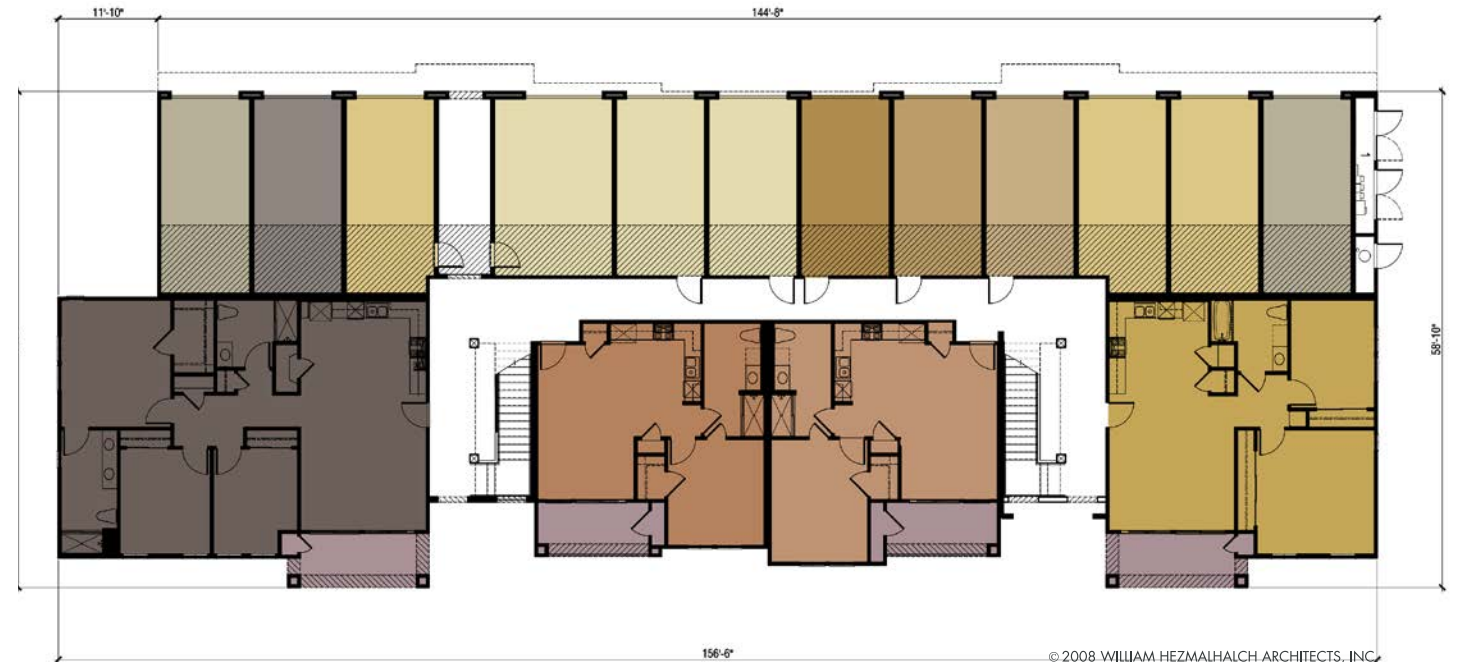
- | | | | |
|--|--|--|--|
| <p>Plan 3
 +/-1060 Sq.Ft. (Net)
 +/-1116 Sq.Ft. (Gross)
 +/- 77 Sq.Ft. (Patio)
 3 Bdrm/2 Ba
 1 Car Garage</p> | <p>Plan 1
 +/-603 Sq.Ft. (Net)
 +/-643 Sq.Ft. (Gross)
 +/-84 Sq. Ft. (Patio)
 1 Bdrm/1 Ba
 1 Car Garage</p> | <p>Plan 1
 +/-603 Sq.Ft. (Net)
 +/-643 Sq.Ft. (Gross)
 +/-84 Sq. Ft. (Patio)
 1 Bdrm/1 Ba
 1 Car Garage</p> | <p>Plan 3
 +/-1060 Sq.Ft. (Net)
 +/-1116 Sq.Ft. (Gross)
 +/- 77 Sq.Ft. (Patio)
 3 Bdrm/2 Ba
 1 Car Garage</p> |
|--|--|--|--|



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- | | | | |
|--|---|---|---|
| <p>Plan 2
 +/-899 Sq.Ft. (Net)
 +/-952 Sq.Ft. (Gross)
 +/- 99 Sq.Ft. (Patio)
 2 Bdrm/1 Ba
 1 Car Garage</p> | <p>Plan 1
 +/-603 Sq.Ft. (Net)
 +/-643 Sq.Ft. (Gross)
 +/- 84 Sq. Ft. (Patio)
 1 Bdrm/1 Ba
 1 Car Garage</p> | <p>Plan 1X
 +/-625 Sq.Ft. (Net)
 +/- 670 Sq.Ft. (Gross)
 +/- 84 Sq. Ft. (Patio)
 1 Bdrm/1 Ba
 1 Car Garage</p> | <p>Plan 2
 +/-899 Sq.Ft. (Net)
 +/-952 Sq.Ft. (Gross)
 +/-99 Sq.Ft. (Patio)
 2 Bdrm/1 Ba
 1 Car Garage</p> |
|--|---|---|---|

Second Floor



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- | | | | |
|--|---|--|--|
| <p>Plan 3-ADA
 +/- 1258 Sq.Ft. (Net)
 +/- 1323 Sq.Ft. (Gross)
 +/- 99 Sq.Ft. (Pat o)
 3 Bdrm/2 Ba
 1 Car Garage</p> | <p>Plan 1-ADA
 +/-610 606 Sq.Ft. (Net)
 +/-645 647 Sq.Ft. (Gross)
 +/-89 84 Sq. Ft. (Pat o)
 1 Bdrm/1 Ba
 1 Car Garage</p> | <p>Plan 1X-ADA
 +/- 629 Sq.Ft. (Net)
 +/- 673 Sq.Ft. (Gross)
 +/- 84 Sq. Ft. (Pat o)
 1 Bdrm/1 Ba
 1 Car Garage</p> | <p>Plan 2-ADA
 +/-894 899 Sq.Ft. (Net)
 +/-933 952 Sq.Ft. (Gross)
 +/-97 99 Sq.Ft. (Pat o)
 2 Bdrm/1 Ba
 1 Car Garage</p> |
|--|---|--|--|

First Floor

Apartments

Floor Plan and Elevation - Community Recreation Building

Minimum Setbacks:

Bldg to Public Street (Wisdom Ln) : 6'

Bldg to Bldg: 25'

Bldg to Side Property Line: 6'



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Townhomes - 5-Plex

Preliminary Elevations

Maximum Lot Coverage: 80%
Minimum Private Yard: 50 SF
Minimum Setbacks: Front: 10' to Primary Building
Rear: 10' to Primary Building
Side: 10' to Corner



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Plan 3

Plan 2

Plan 1

Plan 2

Plan 4

The 2-story Townhomes for the Craftsman Style elevation are an assemblage of both lap siding and board and batt siding exteriors with some common trim details. The 5-unit and 6-unit buildings both have a collection of 3 or 4 of the plan types. The buildings that side onto a street have the Plan 4 (building end unit with front door facing street) with the side entry to give a stronger aesthetic presence to the street orientation. The buildings do have inside corner breaks (for change in exterior material) between units to allow for an architecturally correct break for both materials and colors. This will lend itself to stronger individuality to each unit in the building. The Craftsman style buildings reflect dominate gable 5:12 pitch roof forms with single story porch elements. The paired single hung windows reinforce the Craftsman theme along with the stone bases to the entry porch columns.

Townhomes - 5-Plex

Preliminary Floor Plans - First Floor



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Plan 3
 +/- 1785 Sq.Ft.
 3 Bdrm/2.5 Ba/Loft
 Optional Bdrm 4
 2 Car Garage

Plan 2
 +/- 1556 Sq.Ft.
 3 Bdrm/2.5 Ba
 2 Car Garage

Plan 1
 +/- 1463 Sq.Ft.
 3 Bdrm/2.5 Ba
 2 Car Garage

Plan 2
 +/- 1556 Sq.Ft.
 3 Bdrm/2.5 Ba
 2 Car Garage

Plan 4
 +/- 1745 Sq.Ft.
 3 Bdrm/2.5 Ba/Loft
 Optional Bdrm 4
 2 Car Garage

Townhomes - 5-Plex

Preliminary Floor Plans - Second Floor



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Plan 3

Plan 2

Plan 1

Plan 2

Plan 4

Townhomes - 6-Plex

Preliminary Elevations

Maximum Lot Coverage:	80%
Minimum Private Yard:	50 SF
Minimum Setbacks:	Front: 10' to Primary Building Rear: 10' to Primary Building Side: 10' to Corner
Total Open Space/Landscaped Area:	39,777 SF
Total Private Open Space:	8,216 SF
Parking:	16 Public Spaces 90 Private Garage Spaces

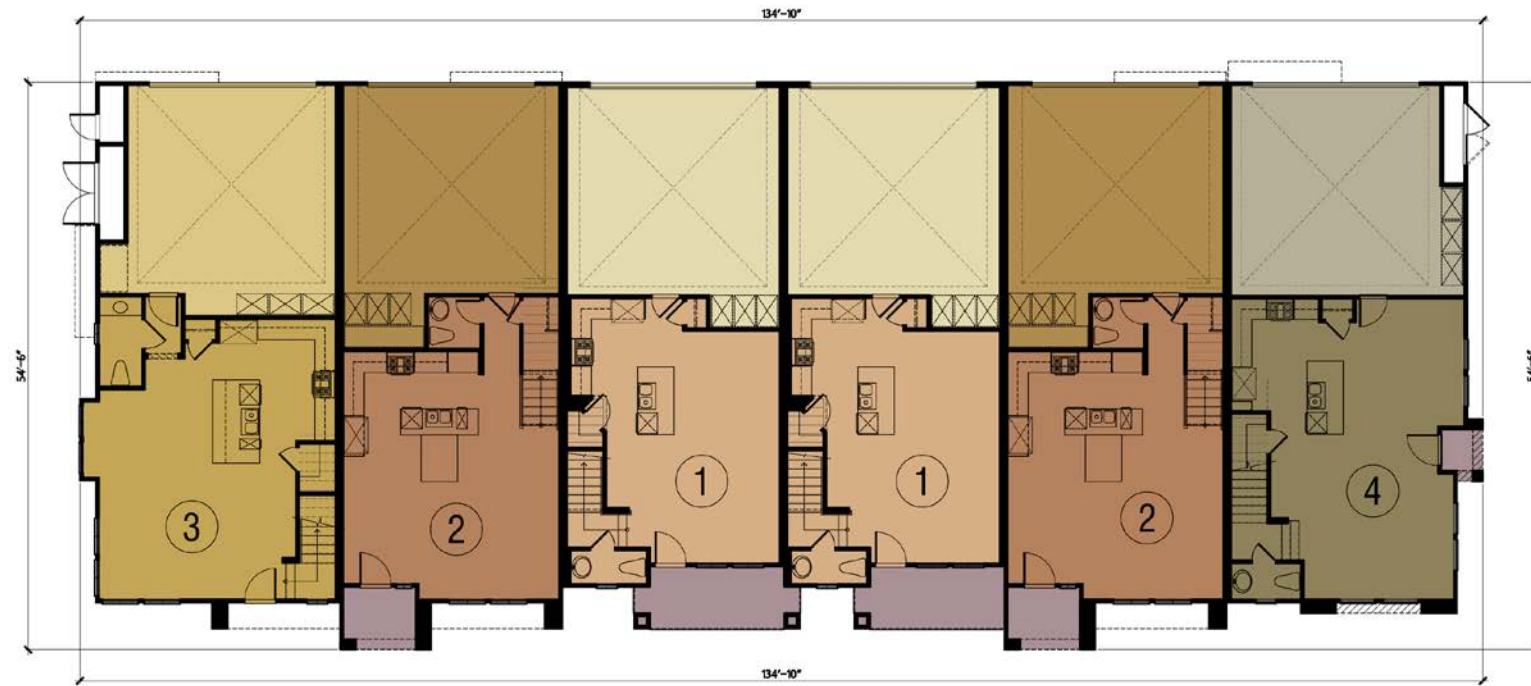


Plan 3 Plan 2 Plan 1 Plan 1 Plan 2 Plan 4

The 2-story Townhomes for the Craftsman Style elevation are an assemblage of both lap siding and board and batt siding exteriors with some common trim details. The 5-unit and 6-unit buildings both have a collection of 3 or 4 of the plan types. The buildings that side onto a street have the Plan 4 (building end unit with front door facing street) with the side entry to give a stronger aesthetic presence to the street orientation. The buildings do have inside corner breaks (for change in exterior material) between units to allow for an architecturally correct break for both materials and colors. This will lend itself to stronger individuality to each unit in the building. The Craftsman style buildings reflect dominate gable 5:12 pitch roof forms with single story porch elements. The paired single hung windows reinforce the Craftsman theme along with the stone bases to the entry porch columns.

Townhomes - 6-Plex

Preliminary Floor Plans - First Floor



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Plan 3
 +/- 1785 Sq.Ft.
 3 Bdrm/2.5 Ba/Loft
 Optional Bdrm 4
 2 Car Garage

Plan 2
 +/- 1556 Sq.Ft.
 3 Bdrm/2.5 Ba
 2 Car Garage

Plan 1
 +/- 1463 Sq.Ft.
 3 Bdrm/2.5 Ba
 2 Car Garage

Plan 1
 +/- 1463 Sq.Ft.
 3 Bdrm/2.5 Ba
 2 Car Garage

Plan 2
 +/- 1556 Sq.Ft.
 3 Bdrm/2.5 Ba
 2 Car Garage

Plan 4
 +/- 1745 Sq.Ft.
 3 Bdrm/2.5 Ba/Loft
 Optional Bdrm 4
 2 Car Garage

Townhomes - 6-Plex

Preliminary Floor Plans - Second Floor



Retail

Preliminary Elevations



Front Elevation - View from Bodway Parkway

© 2008 WILLIAM HEZMALHALCH ARCHITECTS, INC.



Rear Elevation - View from Parking Area

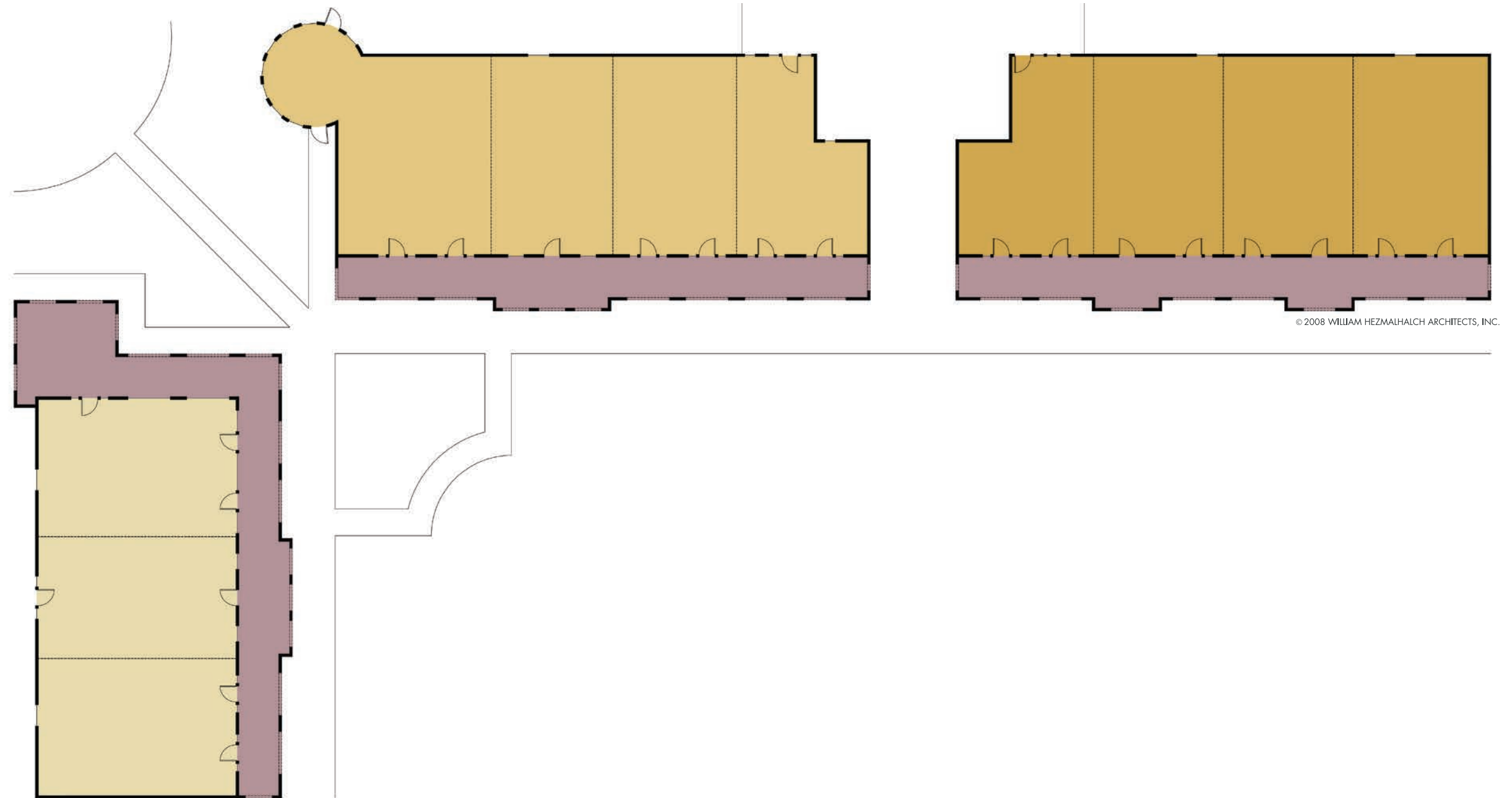
© 2008 WILLIAM HEZMALHALCH ARCHITECTS, INC.

The 1-story retail buildings have an agrarian nature to them and are organized to address street frontage and parking that occur on opposite sides. The majority of the shop doors are located on the parking side of the building with signage and a few doors attracting patrons' attention from the street. Roofs are finished with standing seam metal over low-pitched planes that respect the residential character of the area. The walls are finished with medium texture stucco and accented with the occasional use of a masonry wainscot in textural rubble like stone.

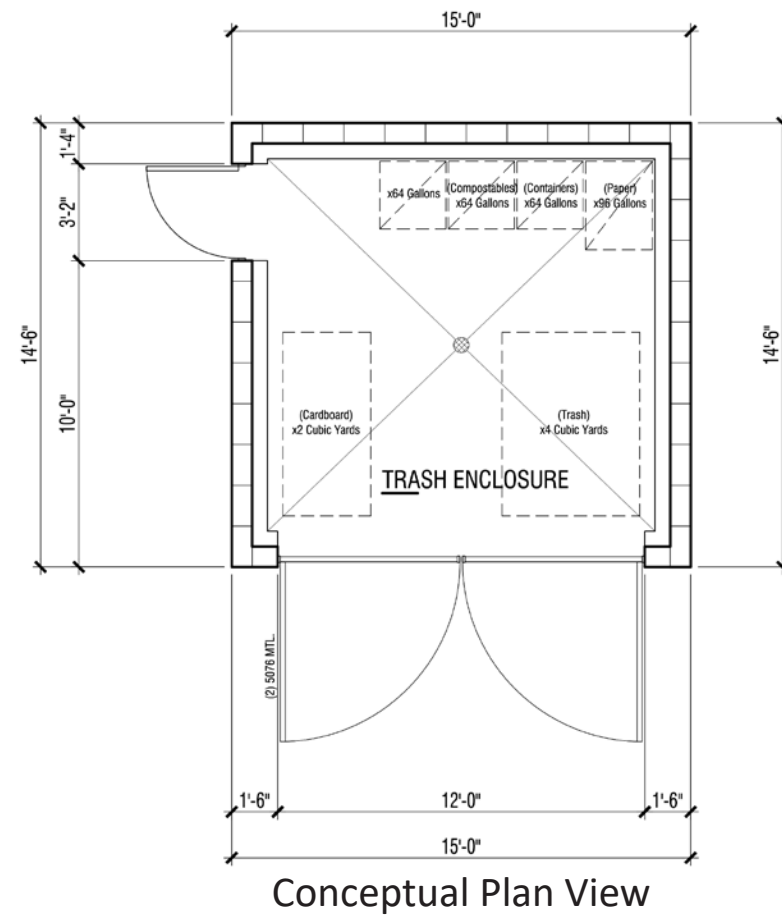
The color palettes for the Retail Shops demonstrated in the street scenes were selected to reflect the mix of the colors that are seen in the adjacent neighborhoods. These colors will include earth tones ranging from warm reds and medium browns to tans and ochre yellows for the primary wall colors. The trim and accent color is a sage green that is applied to fascias, woodwork, and building masses. Roof colors are medium shades of warm gray.

Retail

Preliminary Floor Plans



Trash Enclosure



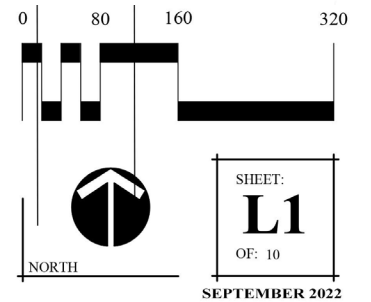
Conceptual Plan View

Illustrative Landscape Plan



PROJECT STREET TREE LEGEND

BOTANICAL NAME / COMMON NAME	SIZE	BOTANICAL NAME / COMMON NAME	SIZE
ACER X. FREEMANII 'JEFFERSRED' (AUTUMN BLAZE MAPLE)	24" BOX	BETULA NIGRA 'CULLY' (HERITAGE BIRCH)	24" BOX
ACER SACCHARINUM (SILVER MAPLE)	24" BOX	GINKGO BILOBA (MAIDENHAIR TREE)	24" BOX
CELTIS AUSTRALIS (COMMON HACKBERRY)	24" BOX	LAGERSTROEMIA INDICA 'MUSKOGEE' (CRAPE MYRTLE)	24" BOX
PISTACIA CHINENSIS (CHINESE PISTACHE)	24" BOX	LAGERSTROEMIA INDICA 'POTOMAC' (CRAPE MYRTLE)	24" BOX
PLATANUS ACERIFOLIA 'BLOODGOOD' (LONDON PLANE TREE)	24" BOX	PRUNUS SERRULATA 'KWANZAN' (FLOWERING CHERRY)	24" BOX
QUERCUS RUBRUM (RED OAK)	24" BOX	PYRUS CALLERYANA 'ARISTOCRAT' (ARISTOCRAT PEAR)	24" BOX
SEQUOIA SEMPERVIRENS (COAST REDWOOD)	24" BOX		
ULMUS PARVIFOLIA 'DRAKE' (DRAKE ELM)	24" BOX		



Mixed-Use Site - Illustrative Landscape Plan



LANDSCAPE LEGEND

TREES

BOTANICAL NAME / COMMON NAME	SIZE
STREET TREE PER SEPARATE SUBMITTAL	24" BOX
BETULA NIGRA 'CULLY' (HERITAGE BIRCH)	24" BOX
CELTIS AUSTRALIS (COMMON HACKBERRY)	24" BOX
CORNUS KOSA (DOGWOOD)	24" BOX
LAGERSTROEMIA INDICA 'MUSKOGEE' (CRAPE MYRTLE)	24" BOX
LAGERSTROEMIA INDICA 'POTOMAC' (CRAPE MYRTLE)	24" BOX
PISTACIA CHINENSIS (CHINESE PISTACHE)	24" BOX
STREET TREE PER SEPARATE SUBMITTAL	24" BOX
PRUNUS SERRULATA 'KWANZAN' (FLOWERING CHERRY)	24" BOX
PYRUS CALLERYANA 'ARISTOCRAT' (ARISTOCRAT PEAR)	24" BOX
ULMUS PARVIFOLIA 'DRAKE' (DRAKE ELM)	24" BOX

Community Monumentation

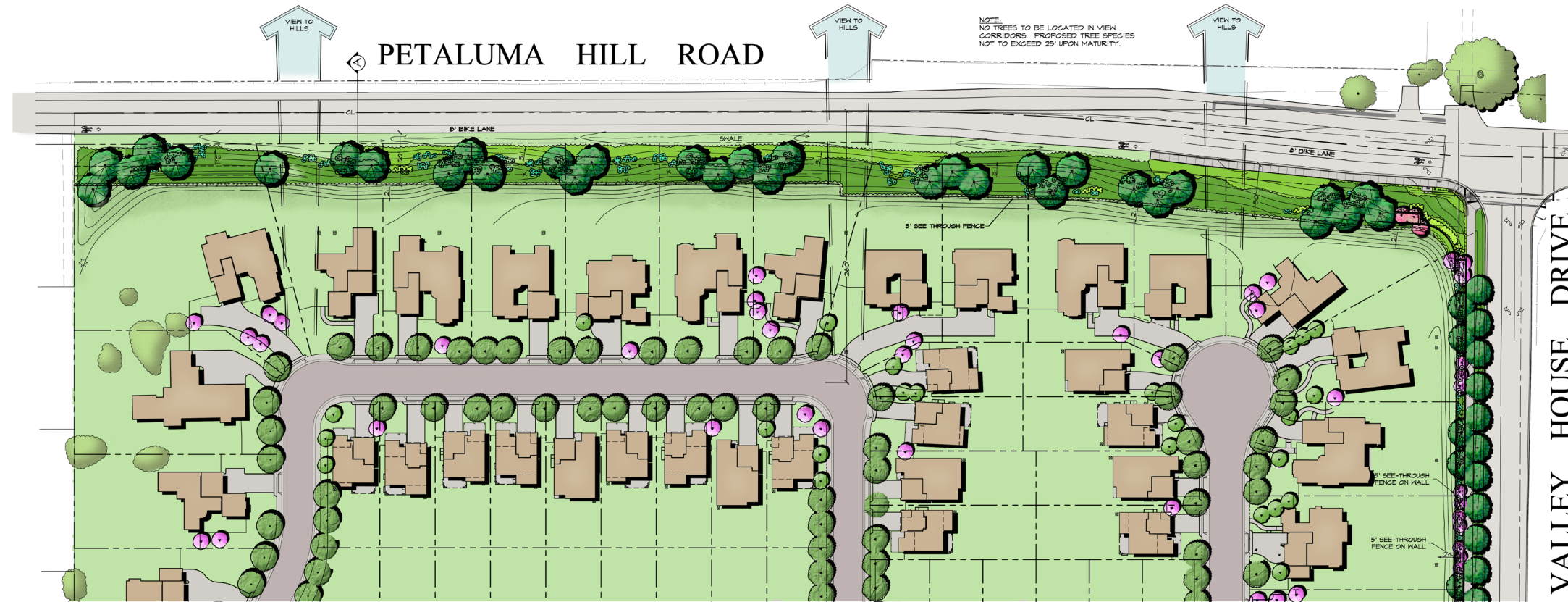


Corner of Valley House & Petaluma Hill Road Streetscape



Petaluma Hill Road - Elevation

Estate View Corridors

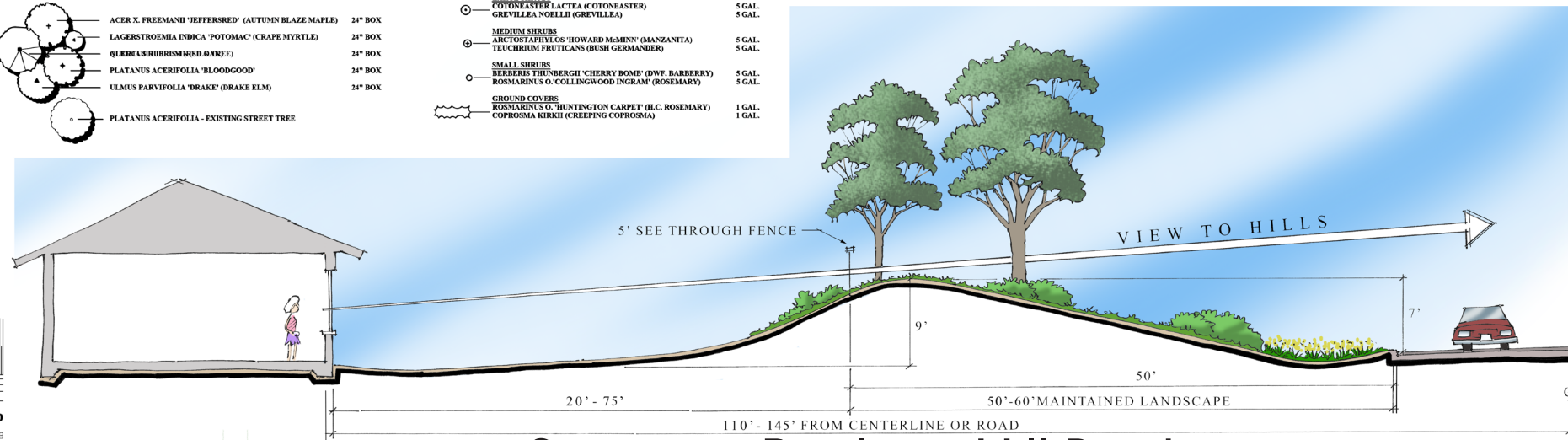


Project - Estate Lots

LANDSCAPE LEGEND

TREES		SHRUBS	
BOTANICAL NAME / COMMON NAME	SIZE		
ACER X. FREEMANII 'JEFFERSRED' (AUTUMN BLAZE MAPLE)	24" BOX	LARGE SHRUBS	
LAGERSTROEMIA INDICA 'POTOMAC' (CRAPE MYRTLE)	24" BOX	COTONEASTER LACTEA (COTONEASTER)	5 GAL.
QUERCUS SUBURBENSINSD.B.(KEL)	24" BOX	GREVILLEA NOELLEII (GREVILLEA)	5 GAL.
PLATANUS ACERIFOLIA 'BLOODGOOD'	24" BOX	MEDIUM SHRUBS	
ULMUS PARVIFOLIA 'BRAKE' (ORAKE ELM)	24" BOX	ARCTOSTAPHYLOS 'HOWARD McMINN' (MANZANITA)	5 GAL.
PLATANUS ACERIFOLIA - EXISTING STREET TREE		TEUCHORIUM FRUTICANS (BUSH GERMANDER)	5 GAL.
		SMALL SHRUBS	
		BERBERIS THUNBERGII 'CHERRY BOMB' (DWF. BARBERRY)	5 GAL.
		ROSMARINUS O. 'COLLINGWOOD INGRAM' (ROSEMARY)	5 GAL.
		GROUND COVERS	
		ROSMARINUS O. 'HUNTINGTON CARPET' (H.C. ROSEMARY)	1 GAL.
		COPROSMA KIRKII (CREEPING COPROSMA)	1 GAL.

SCALE: 1"=40'



Section at Petaluma Hill Road

SCALE: 1"=5'

SOUTHEAST ROHNERT PARK
7279 PETALUMA HILL ROAD
ROHNERT PARK, CALIFORNIA

PETALUMA HILL RD. PLAN

0 40 80 160

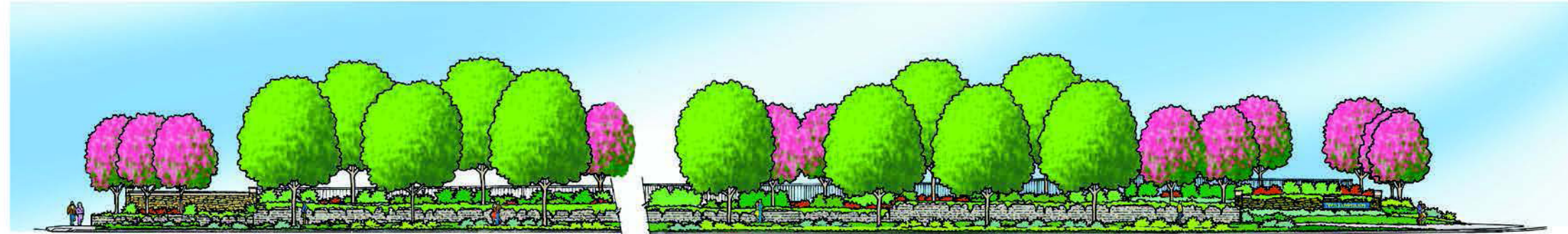


APRIL 2020

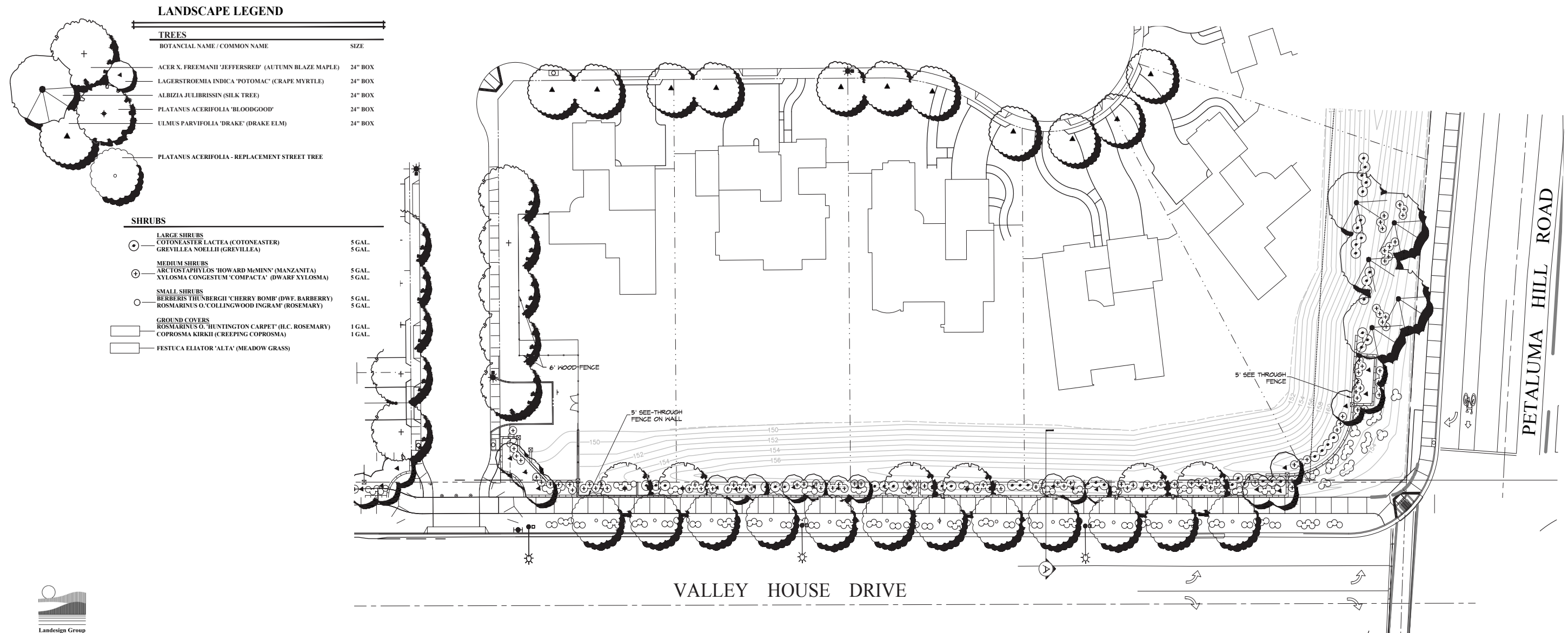
Landesign Group
LANDSCAPE ARCHITECTURE
MASTER PLANNING
(707) 829-2580
FAX 829-3417
3344 Gravesitein Hwy. No.
Sebastopol, CA 95472

Landesign Group
LANDSCAPE ARCHITECTURE
MASTER PLANNING

Perimeter Streetscape Details - Valley House Road



Valley House Road - Elevation at Estate Lots



Valley House Road - Streetscape



Perimeter Streetscape Details - Valley House Road

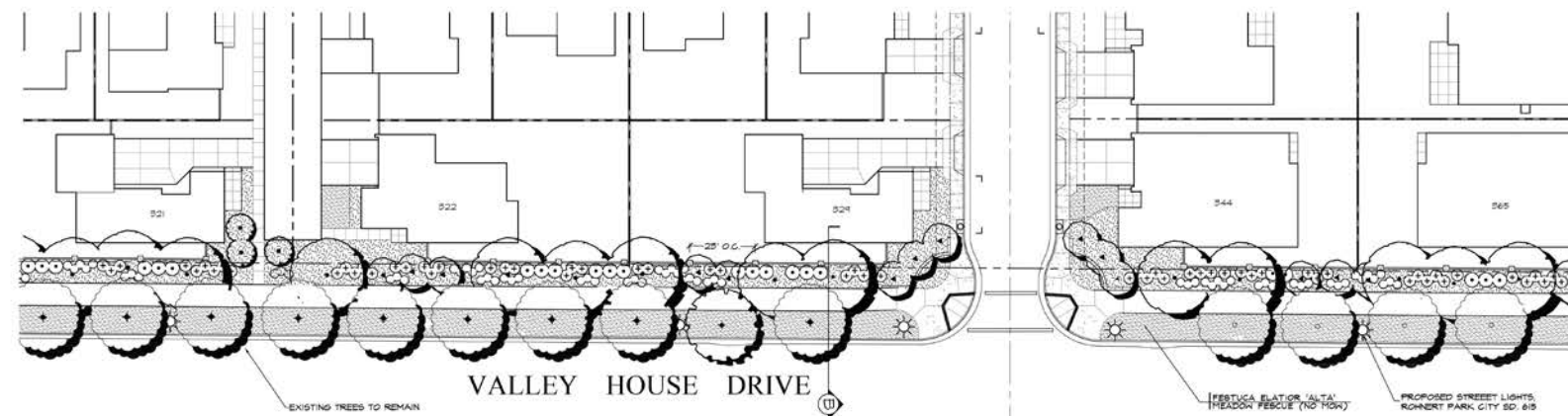


Valley House Road - Elevation at MDA Lots

LANDSCAPE LEGEND

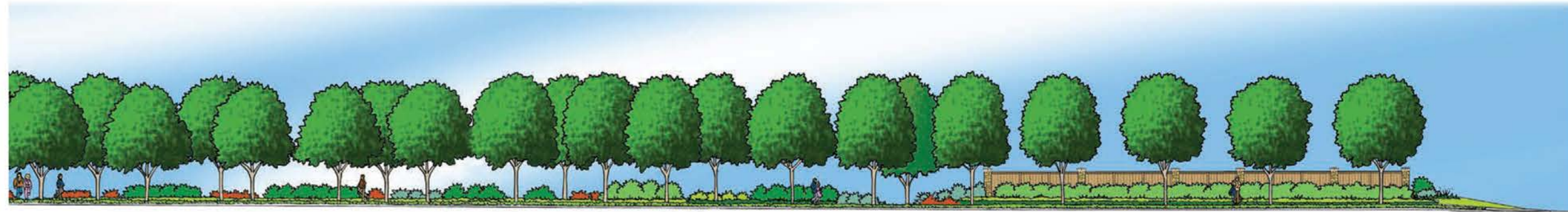
TREES	
BOTANICAL NAME / COMMON NAME	SIZE
ACER X. FREEMANII 'JEFFERREY' (AUTUMN BLAZE MAPLE)	24" BOX
LAGERSTROEMIA INDICA 'POTOMAC' (CRAPE MYRTLE)	24" BOX
PYRUS CALLERYANA 'ARISTOCRAT' (ARISTOCRAT PEAR)	24" BOX
PLATANUS ACERIFOLIA 'BLOODGOOD'	24" BOX
CLMIS PARYFOLIA 'DRAKE' (DRAKE ELM)	24" BOX
PLATANUS ACERIFOLIA - EXISTING STREET TREE	

SHRUBS	
LARGE SHRUBS	
COTONASTER LACTEA (COTONASTER)	5 GAL.
GREVILLEA NOBILII (GREVILLEA)	5 GAL.
MEDIUM SHRUBS	
ARCTOSTAPHYLOS 'HOWARD MAMIN' (MANZANITA)	5 GAL.
XYLOSMA 'INGENUEM' 'COMPACTA' (DWARF XYLOSMA)	5 GAL.
SMALL SHRUBS	
BERBERIS THUNBERGH 'CHERRY BOMB' (DWF. BARBERRY)	5 GAL.
ROSMARINUS O. 'COLLINGWOOD INGRAM' (ROSEMARY)	5 GAL.
GROUND COVERS	
ROSMARINUS O. 'BUNNINGTON CARPET' (L.C. ROSEMARY)	1 GAL.
COPROSMA KIKKI (KEEPING COPROSMA)	1 GAL.
TURF (AS INDICATED ON PLAN)	



Valley House Road - Streetscape

Perimeter Streetscape Details - Bodway Parkway

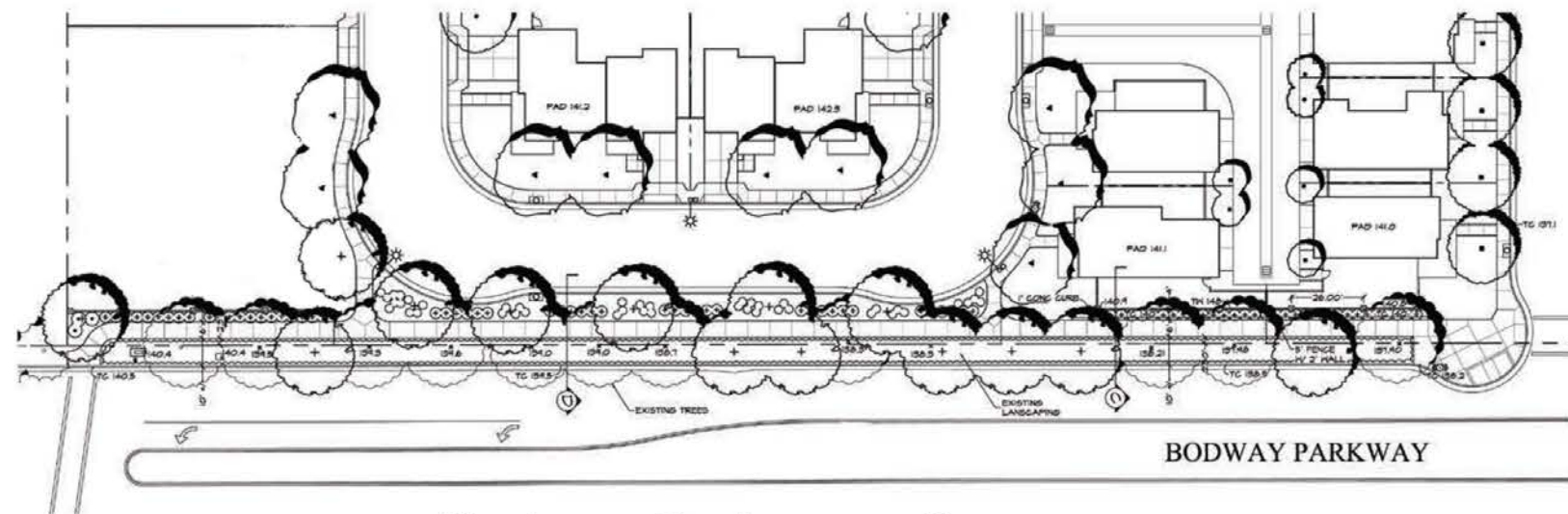


Bodway Parkway - Elevation

LANDSCAPE LEGEND

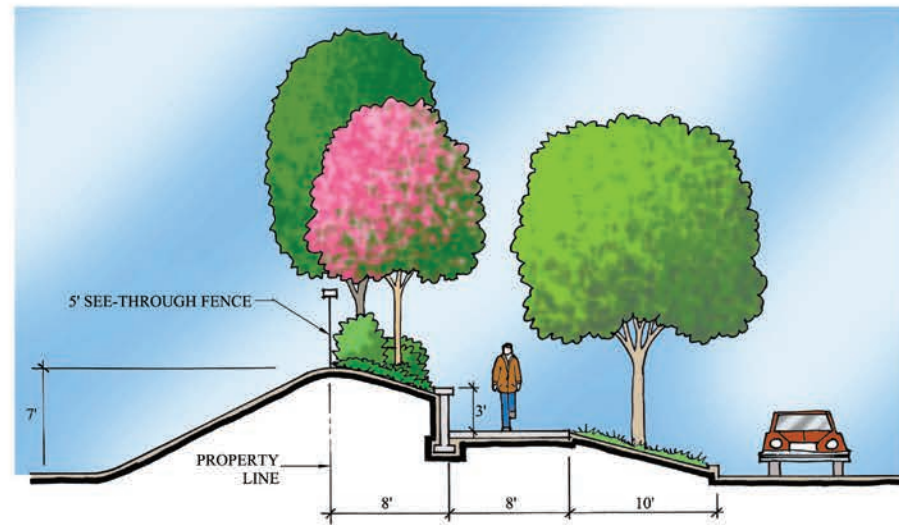
TREES		
BOTANICAL NAME / COMMON NAME	SIZE	
ACER X. FREEMANII 'JEFFERSRED' (AUTUMN BLAZE MAPLE)	24" BOX	
LAGERSTROEMIA INDICA 'MUSKOGEE' (CRAPE MYRTLE)	24" BOX	
CELTIS AUSTRALIS (COMMON HACKBERRY)	24" BOX	
PRUNUS SERRULATA 'KWANZAN' (FLOWERING CHERRY)	24" BOX	
PISTACIA CHINENSIS (CHINESE PISTACHE)	24" BOX	

SHRUBS		
SYMBOL	SHRUB NAME	SIZE
●	LARGE SHRUBS	5 GAL.
○	COTONEASTER LACTEA (COTONEASTER)	5 GAL.
○	GREVILLEA NOELLII (GREVILLEA)	5 GAL.
○	MEDIUM SHRUBS	5 GAL.
○	ARCTOSTAPHYLOS 'HOWARD McMINN' (MANZANTIA)	5 GAL.
○	XYLOSMA CONGESTUM 'COMPACTA' (DWARF XYLOSMA)	5 GAL.
○	SMALL SHRUBS	5 GAL.
○	BERBERIS 'THUNBERGH' 'CHERRY BOMB' (DWF. BARBERRY)	5 GAL.
○	ROSMARINUS O. 'COLLINGWOOD INGRAM' (ROSEMARY)	5 GAL.
□	GROUND COVERS	1 GAL.
□	ROSMARINUS O. 'HUNTINGTON CARPET' (ILC. ROSEMARY)	1 GAL.
□	COPROSMA KIRKII (CREEPING COPROSMA)	1 GAL.

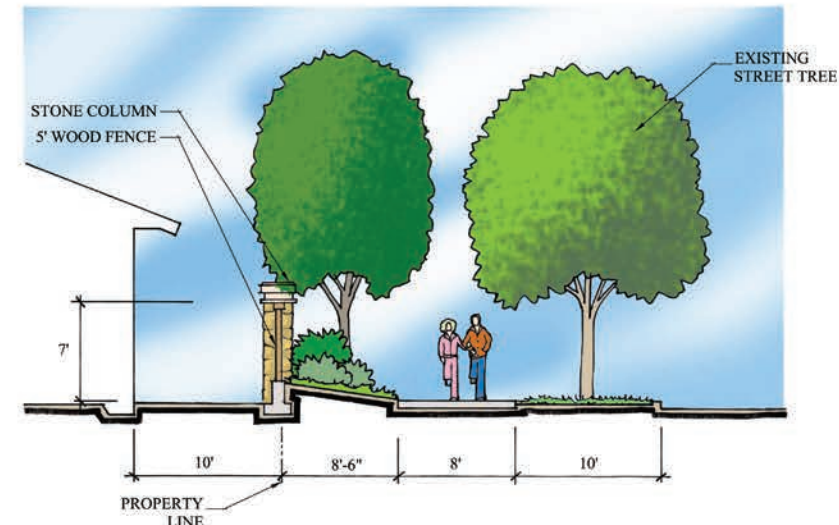


Bodway Parkway - Streetscape

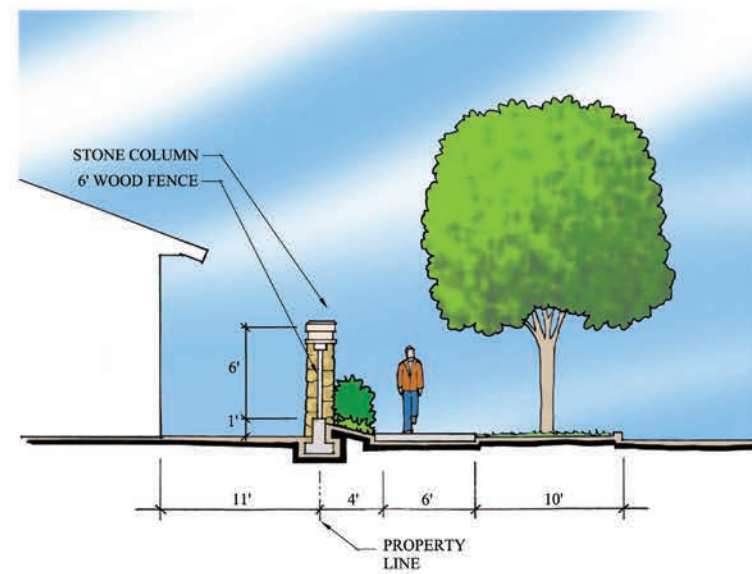
Perimeter Streetscape Sections



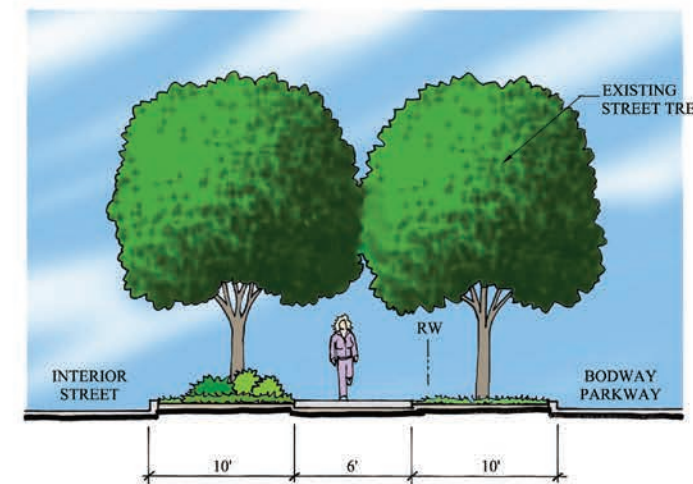
Section A - Valley House Road



Section B - Valley House Road

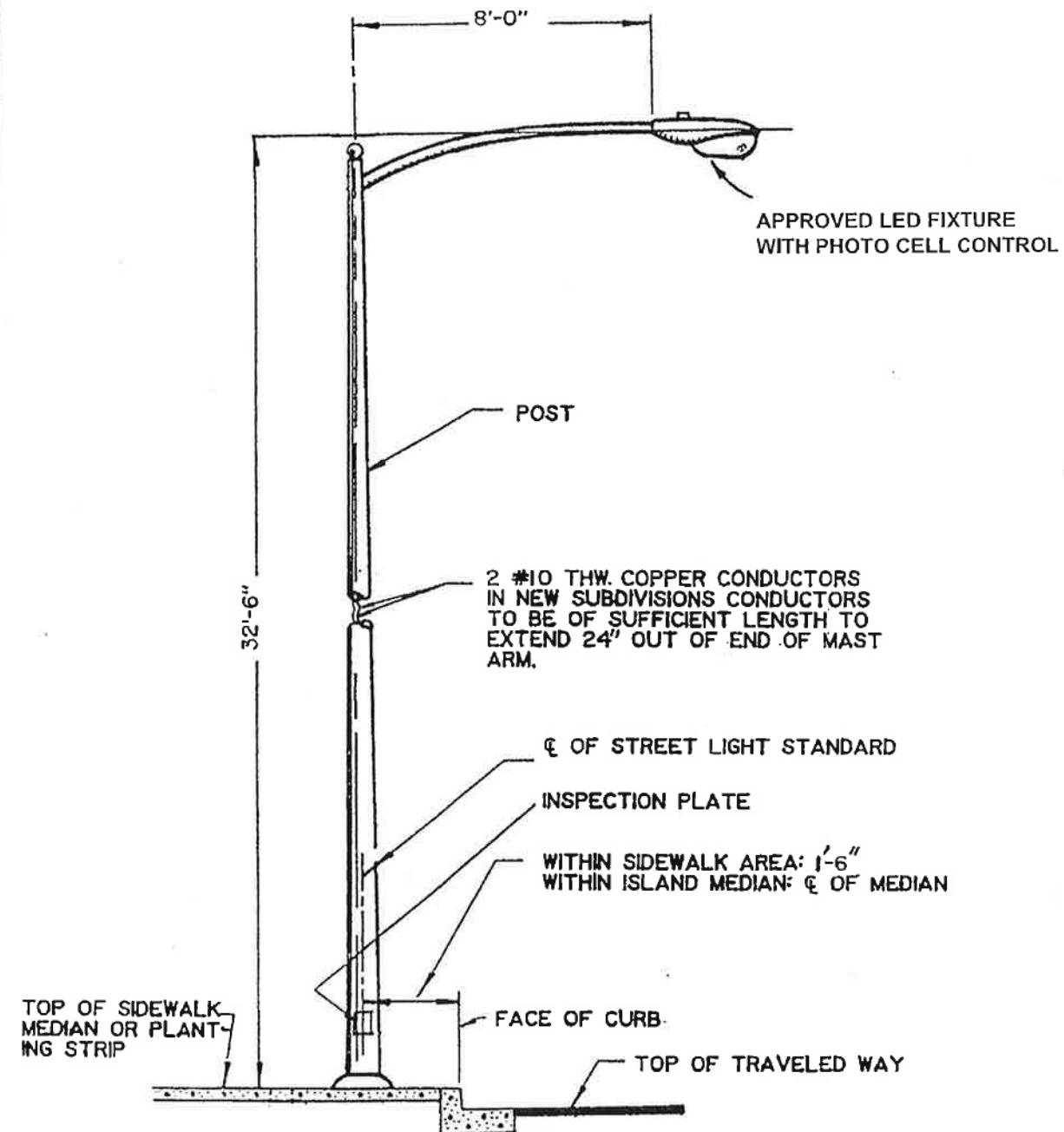


Section C - Bodway Parkway

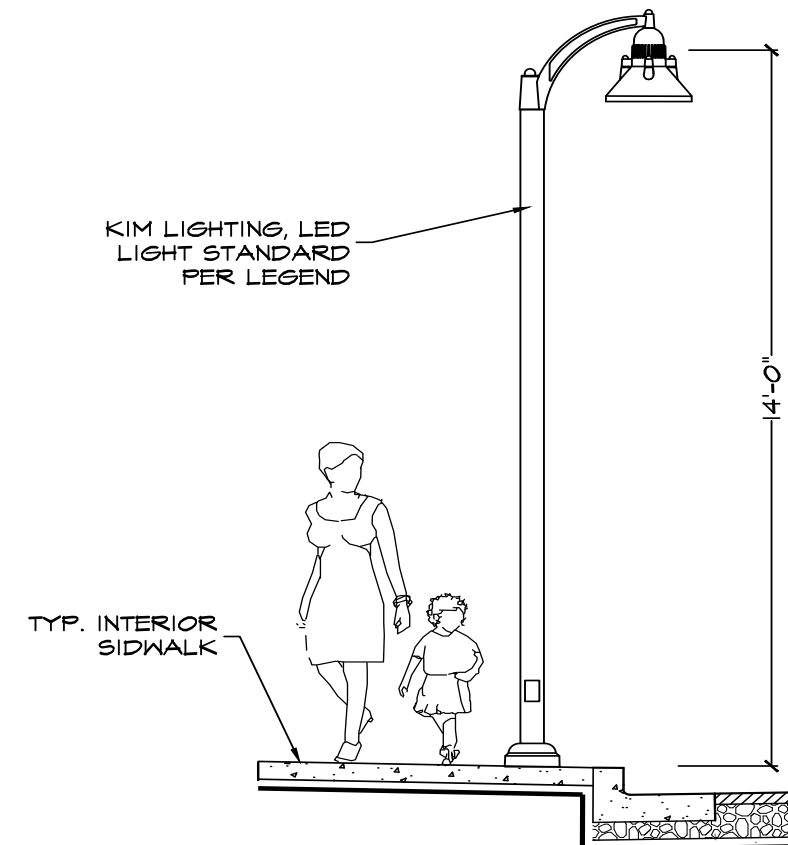


Section D - Bodway Parkway

Conceptual Lighting Details



Cobra style street light for use only along Bodway Parkway to match existing street lights. Pursuant to City of Rohnert Park Standard Detail 610.



LED Era® Bell decorative street light for use along residential streets. Pursuant to City of Rohnert Park Standard Detail.

Representative Imagery



Perimeter Streetscape



Perimeter Streetscape



Perimeter Streetscape




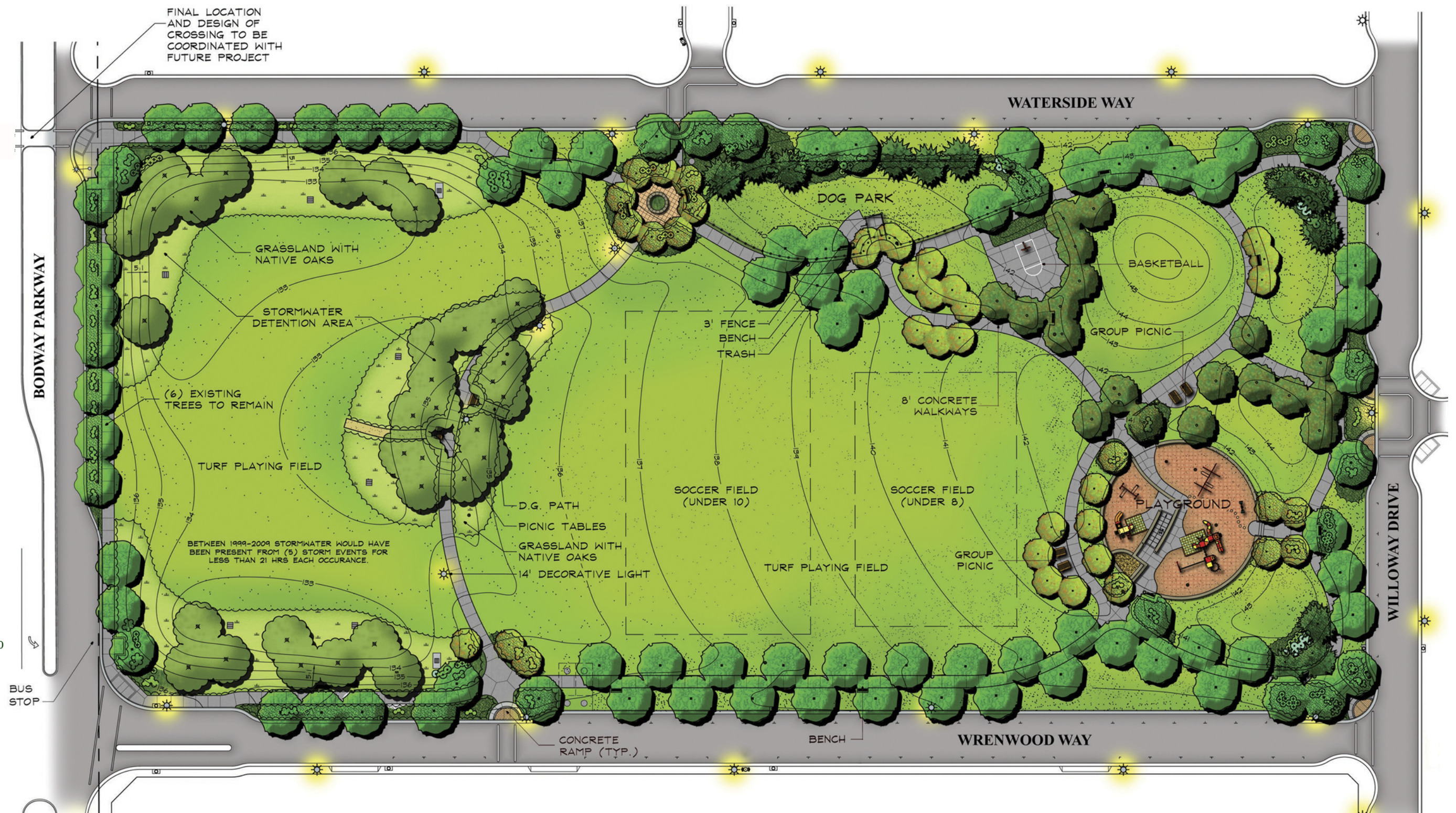
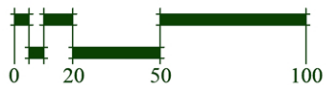
Typical Frontage Fencing

Neighborhood Park - Site Plan

FINAL LOCATION AND DESIGN OF CROSSING TO BE COORDINATED WITH FUTURE PROJECT

LEGEND

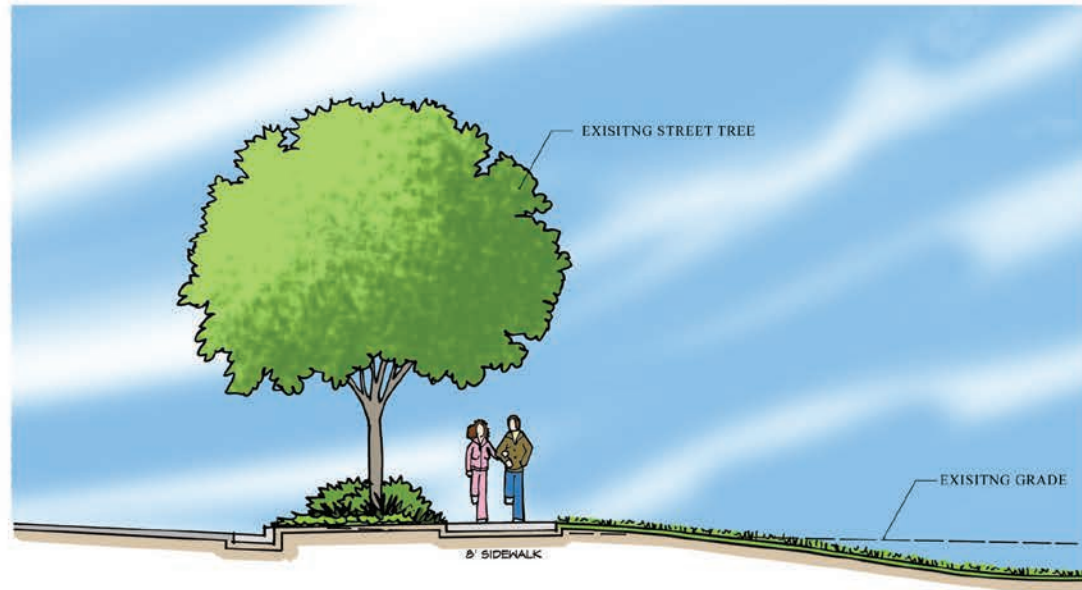
-  RED OAK
 -  DRAKE'S ELM
 -  SLIVER MAPLE
 -  CHINESE PISTACHE
 -  REDWOOD
 -  FLOWERING CHERRY
 -  GINKGO BILOBA
-  NORTH



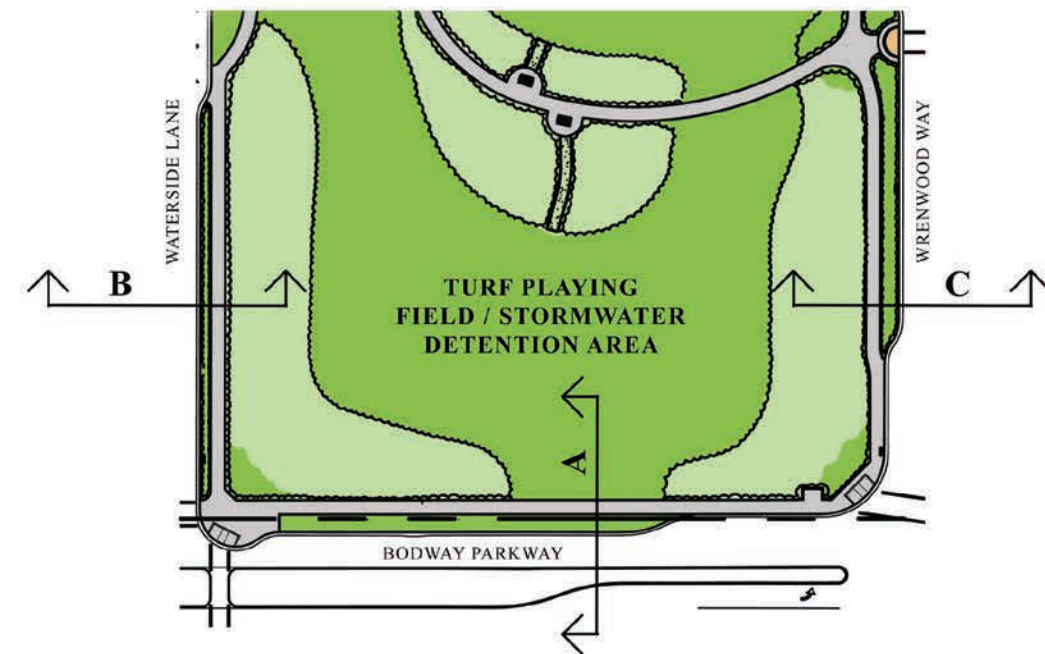
NOTE: All street lighting shall be LED.



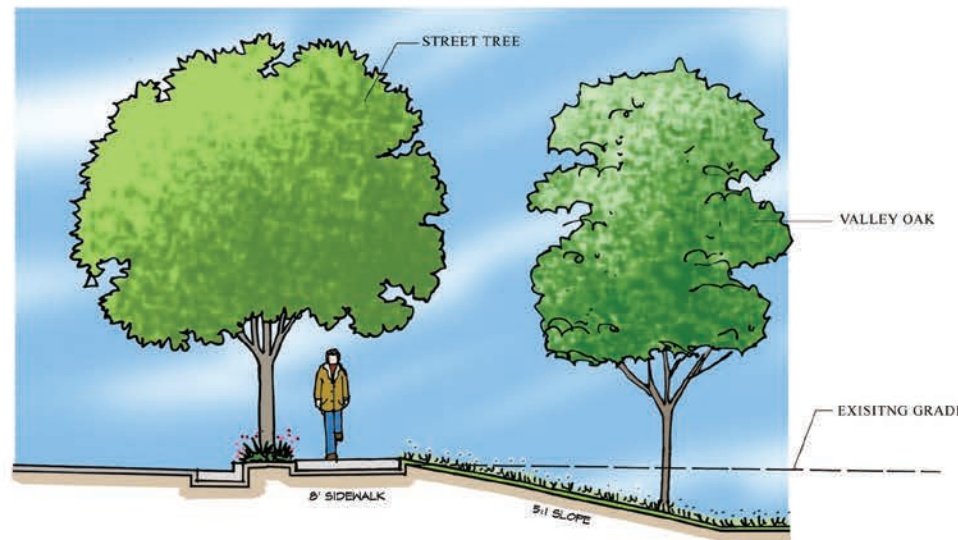
Neighborhood Park - Detention Pond Sections



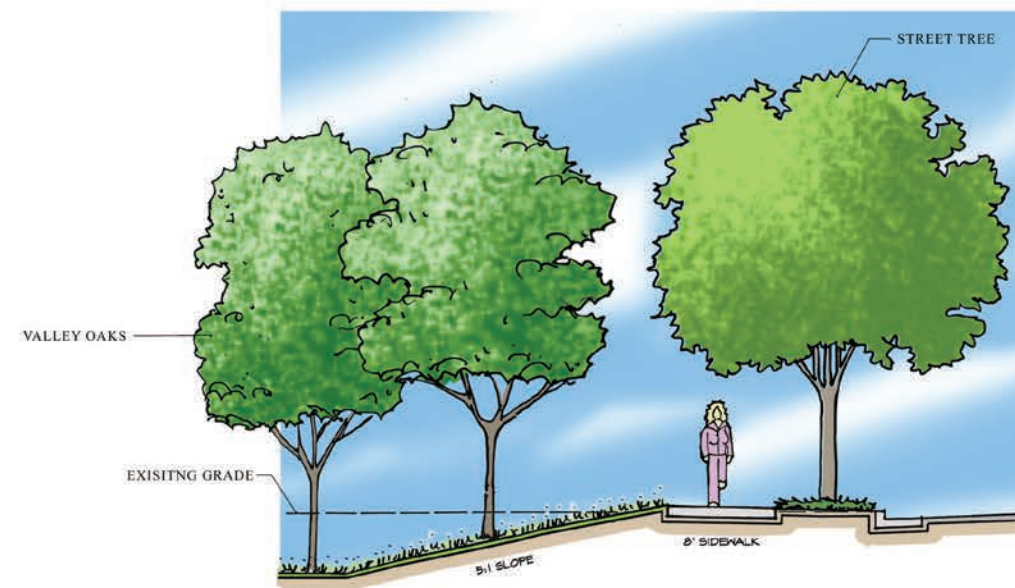
Section A - Bodway Parkway



Plan View - West End of Park



Section B - Waterside Lane



Section C - Wrenwood Way

Neighborhood Park - Playground



Neighborhood Park - Dog Park

